

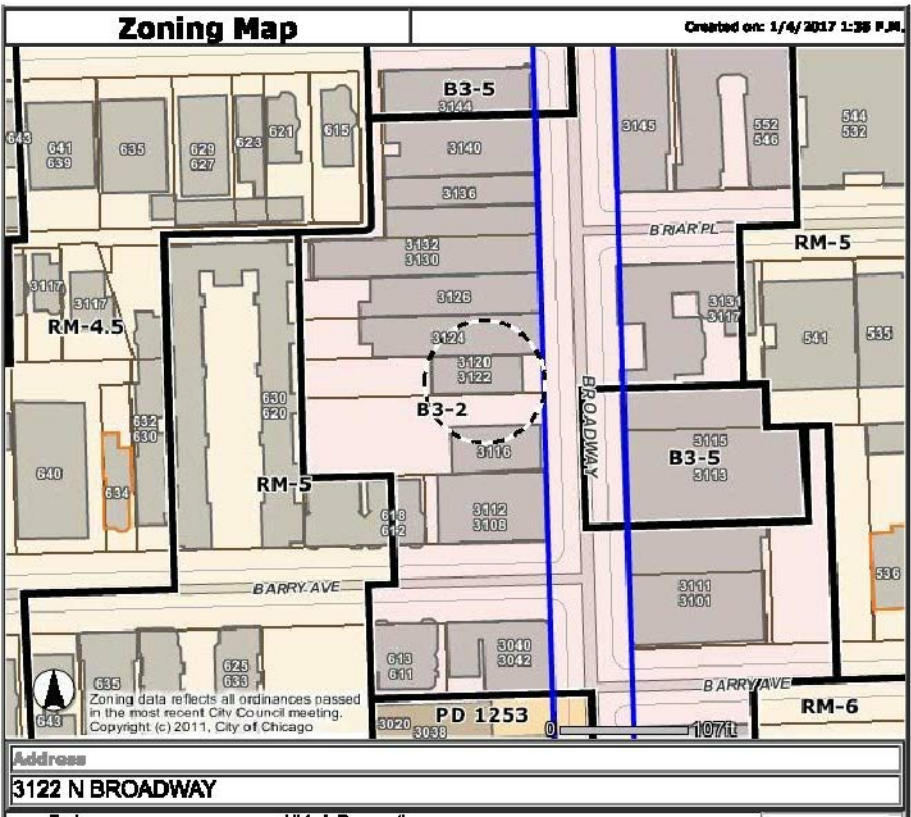
3122 N. Broadway

Chicago

Illinois

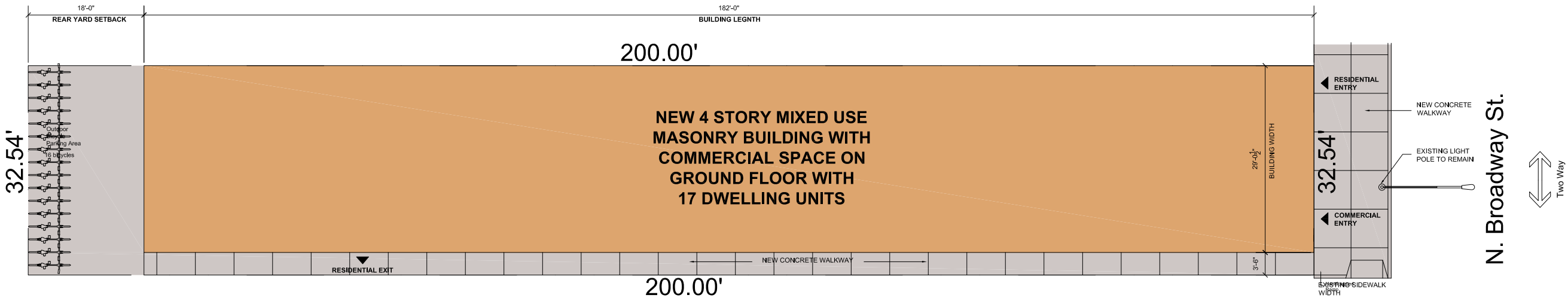


RENDERING OF PROPOSED BUILDING
SCALE: N.T.S.



ZONING MAP
SCALE: N.T.S.

ZONING DATA - 3122 N. Broadway Ave.	
Address:	3122 N Broadway
Lot Dimensions:	32.54' x 200.00'
Lot Area:	6,508.00 SQ FT
Existing Zoning District:	B3-2
Proposed Zoning District:	B2-3 TOD (TRANSIT ORIENTED DEVELOPMENT)
Minimum Lot Area per Dwelling Unit:	300 Sq.Ft. per Dwelling Unit
Maximum Number of Dwelling Units:	6,508.00 / 300= 21 Dwelling Units ALLOWED
Proposed Number of Dwelling Units:	17 Dwelling Units Proposed
Maximum Allowable Floor Area:	6,508.00 Sq.Ft. x 4.0 (Max Ratio) =26,032.00 Sq.Ft.
Maximum Building Height:	60'-0" commercial on ground floor per 17-3-0408-B-2
Proposed Building Height:	44'-5"
Proposed Floor Area:	
First Floor:	5,111.04 Sq.Ft.
Second Floor:	5,125.59 Sq.Ft.
Third Floor:	5,125.59 Sq.Ft.
Fourth Floor:	5,125.59 Sq.Ft.
Total:	20,487.81 Sq.Ft. < 26,032.00 Sq. Ft.
Required Yards:	
Front Yard Setback:	0'-0"
Side Yard Setback:	0'-0"
Rear Yard Setback:	30'-0" @ FLR's w/ D.U.'s
Proposed Yards:	
Front Yard Setback :	0'-0"
NORTH Side Yard Setback :	0'-0"
SOUTH Side Yard Setback :	3'-6"
Rear Yard Setback :	17'-10" @ FLR's w/ D.U.'s need ZBA
Required Commercial Parking:	None for first 10,000 sq.ft. of Commercial
Auto:	0 parking required for Commercial
Proposed Residential Parking:	
Auto:	0 parking spaces PROVIDED (requesting parking reduction for T.O.D.) Transit-served location Pedestrian street reduction for CTA entrance within 2620 ft. ZBA REQUIRED
Bike:	25 proposed bicycle parking spaces
Required Commercial Parking:	None for first 10,000 sq.ft.



Proposed Site Plan
SCALE: 1/8" = 1'-0"



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Proposed Perspective Rendering Looking North West on Clark Street
SCALE: N.T.S.

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Proposed Perspective Rendering Looking North on Clark Street
SCALE: N.T.S.

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Proposed Perspective Rendering Looking South West on Clark Street
SCALE: N.T.S.

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Picture North West on Clark Street Mariono's

SCALE: N.T.S.



Picture North West on Clark Street

SCALE: N.T.S.



Picture North West on Clark Street

SCALE: N.T.S.



Picture South West at Proposed Site

SCALE: N.T.S.



Picture West at Proposed Site

SCALE: N.T.S.



Picture West at next door to Proposed Site

SCALE: N.T.S.



Picture South West on Clark Street

SCALE: N.T.S.



Picture South on Clark Street

SCALE: N.T.S.



Picture Looking east Across from Proposed Site

SCALE: N.T.S.



Picture Looking East Across from Proposed Site

SCALE: N.T.S.



Picture Looking East Across from back of Site

SCALE: N.T.S.



Picture Looking West Rear of Property

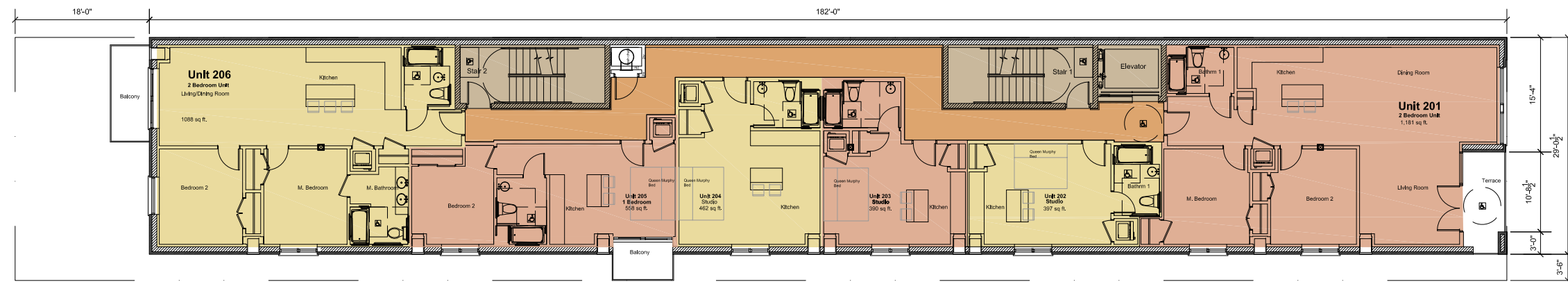
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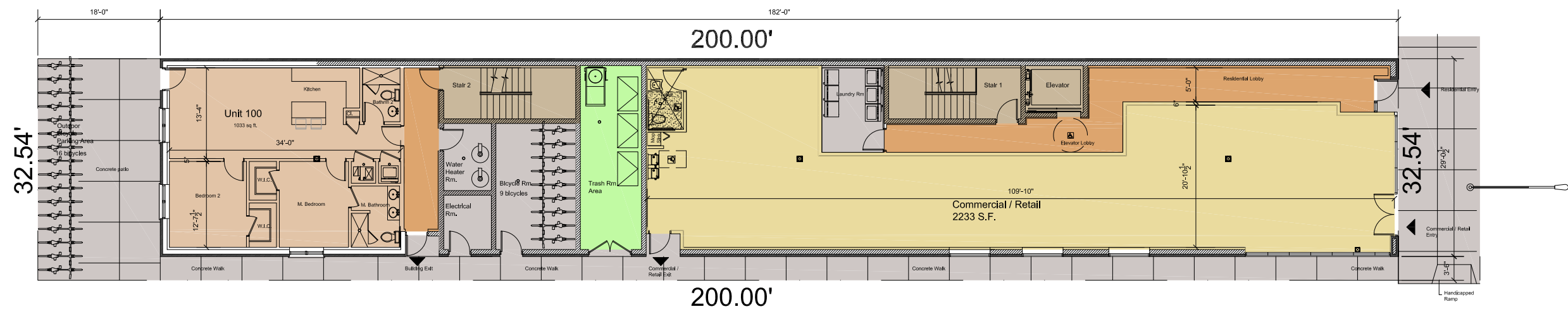
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Proposed Second-Fourth Floor Plan

SCALE: $\frac{1}{8}" = 1'-0"$



Proposed First Floor Plan

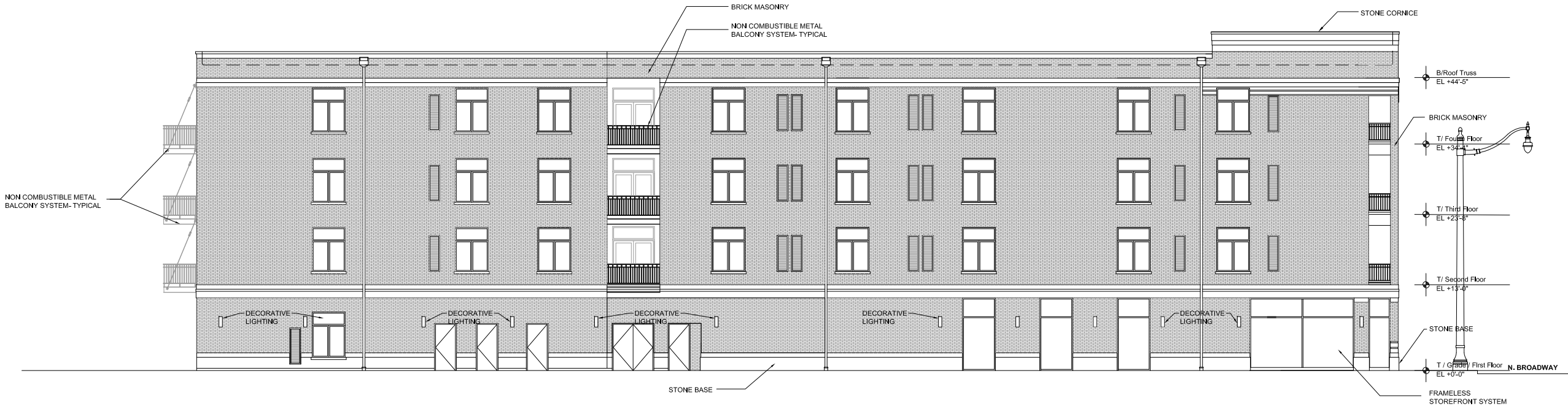
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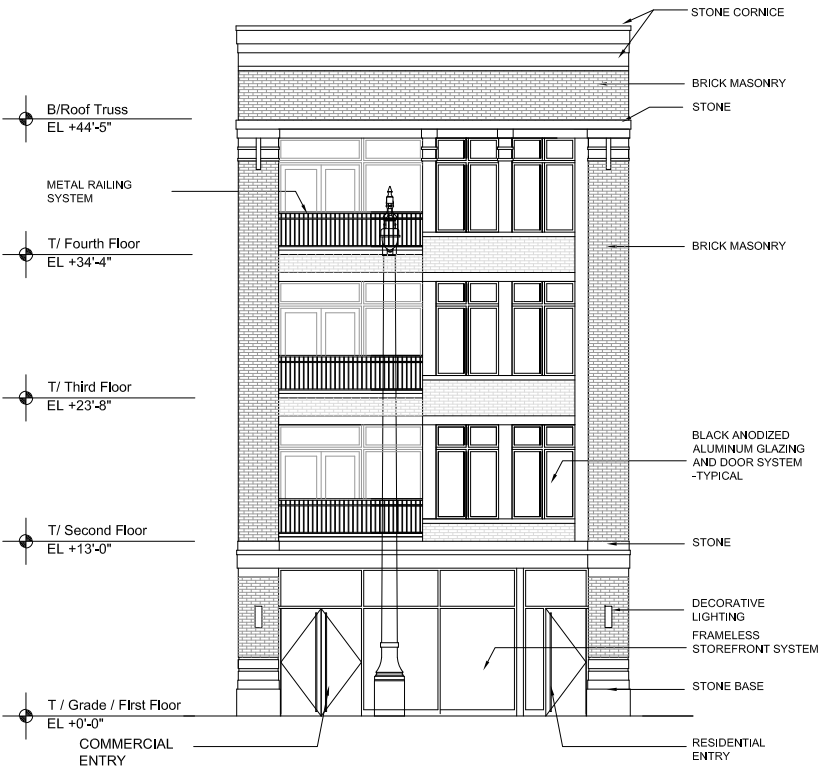
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South Elevation

SCALE: 3/8" = 1'-0"



East Elevation

SCALE: 3/16" = 1'-0"

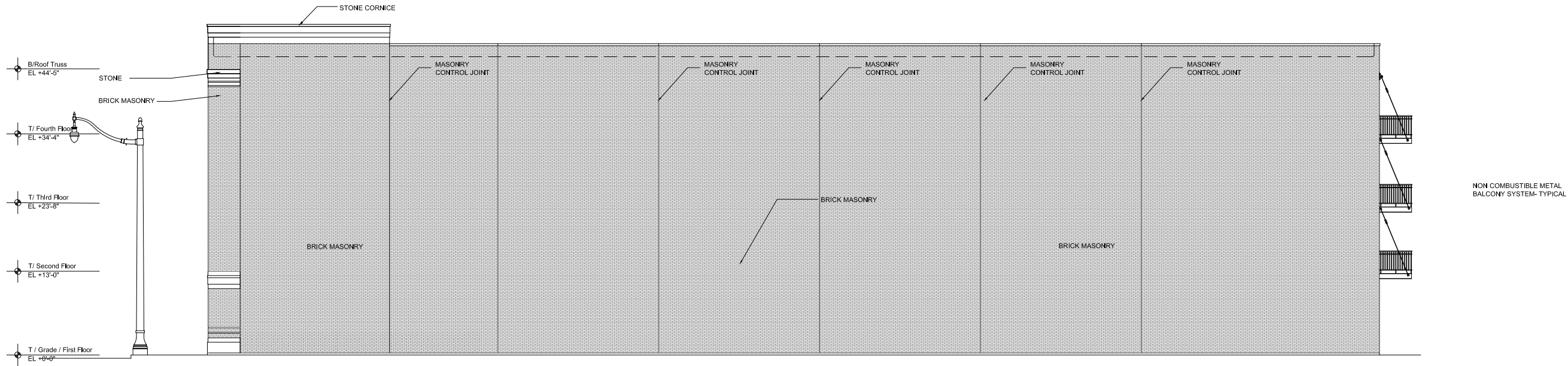


X I O S A R C H I T E C T S & C O N S U L T A N T S

3 1 2 2 N. B r o a d w a y

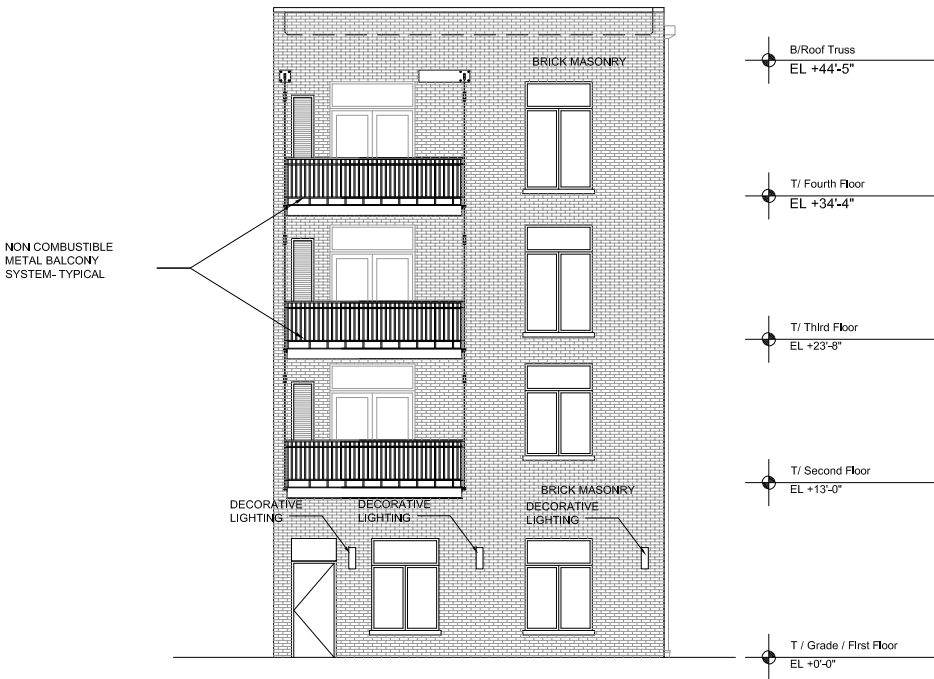
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North Elevation

SCALE: 3/8" = 1'-0"



West Elevation

SCALE: 3/16" = 1'-0"



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