



Architects

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1045 W. Cornelia

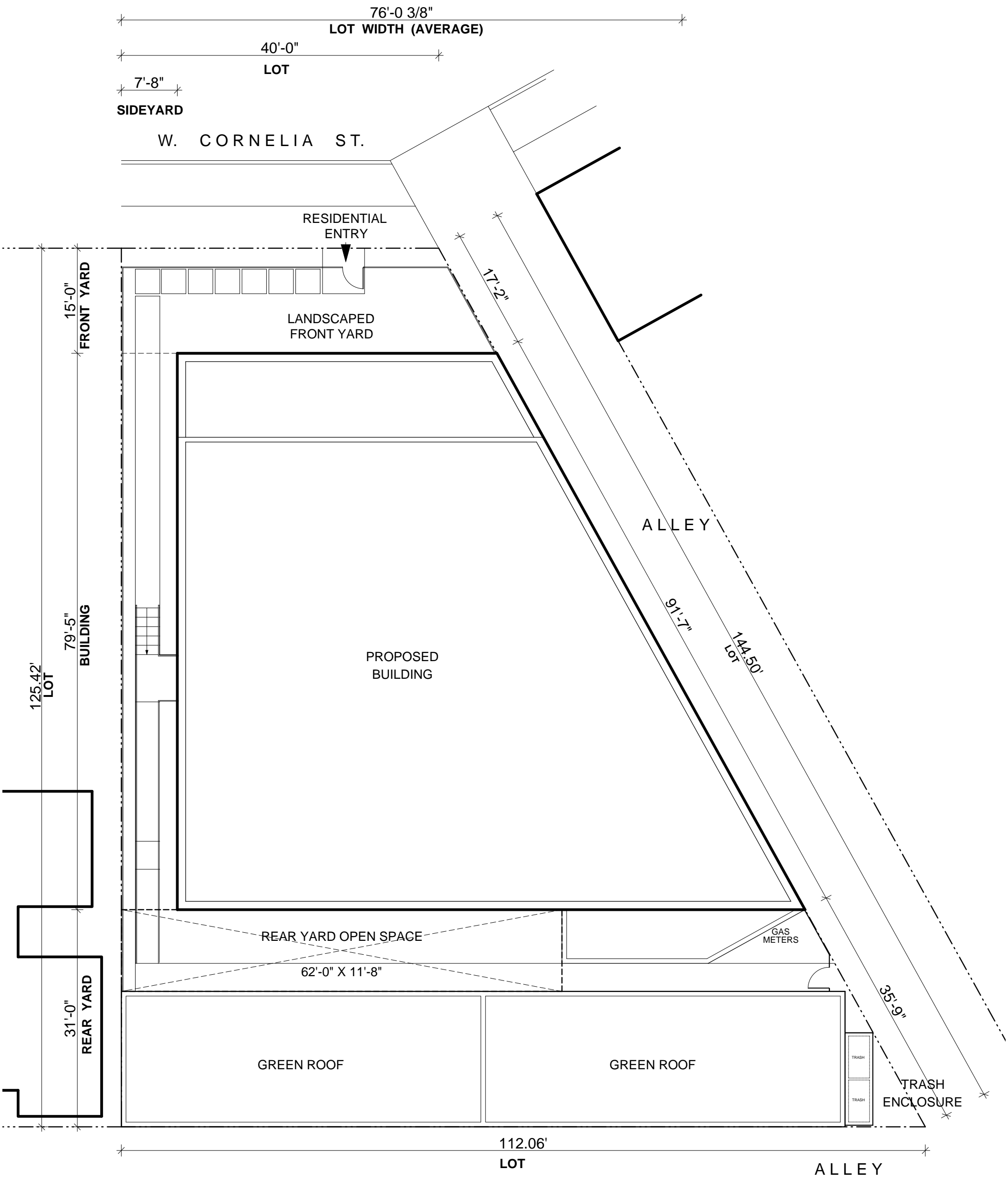
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Comparison:	RT-4	RM-5	RM-5
	<u>Current Allowed</u>	<u>Proposed Allowed</u>	<u>Proposed Actual</u>
Site Area:	9,535	9,535	9,535
Floor Area Ratio:	1.2 (11,442)	2.0 (19,070)	1.99 (19,000)
M L A:	1000 (10 units)	400 (23 units)	595 (16 units)
Max. Height:	38'-0"	47'-0"	46'-8"
Parking:	1 per dwell unit	1 per dwell unit	16 (1 per dwell unit)
Open Space:	6.5% / 12' (652)	5.25% / 10' (527)	724 (62'-0" x 11'-8")
Front Yard:	15'-0"	15'-0"	15'-0"
Side Yard:	10% / 0' (alley)	10% / 0' (alley)	10% (7'-8") / 0' (alley)
Rear Yard:	38'-0"	38'-0"	31'-0" (Variation)

Notes: The project requires the following;

1. Zoning change from RT-4 to RM-5.
2. Variation for Rear Yard Setback reduction from 38'-0" to 31'-0".
3. Variation for reduction of garage setbacks on alleys from 2'-0" to 0'-0"



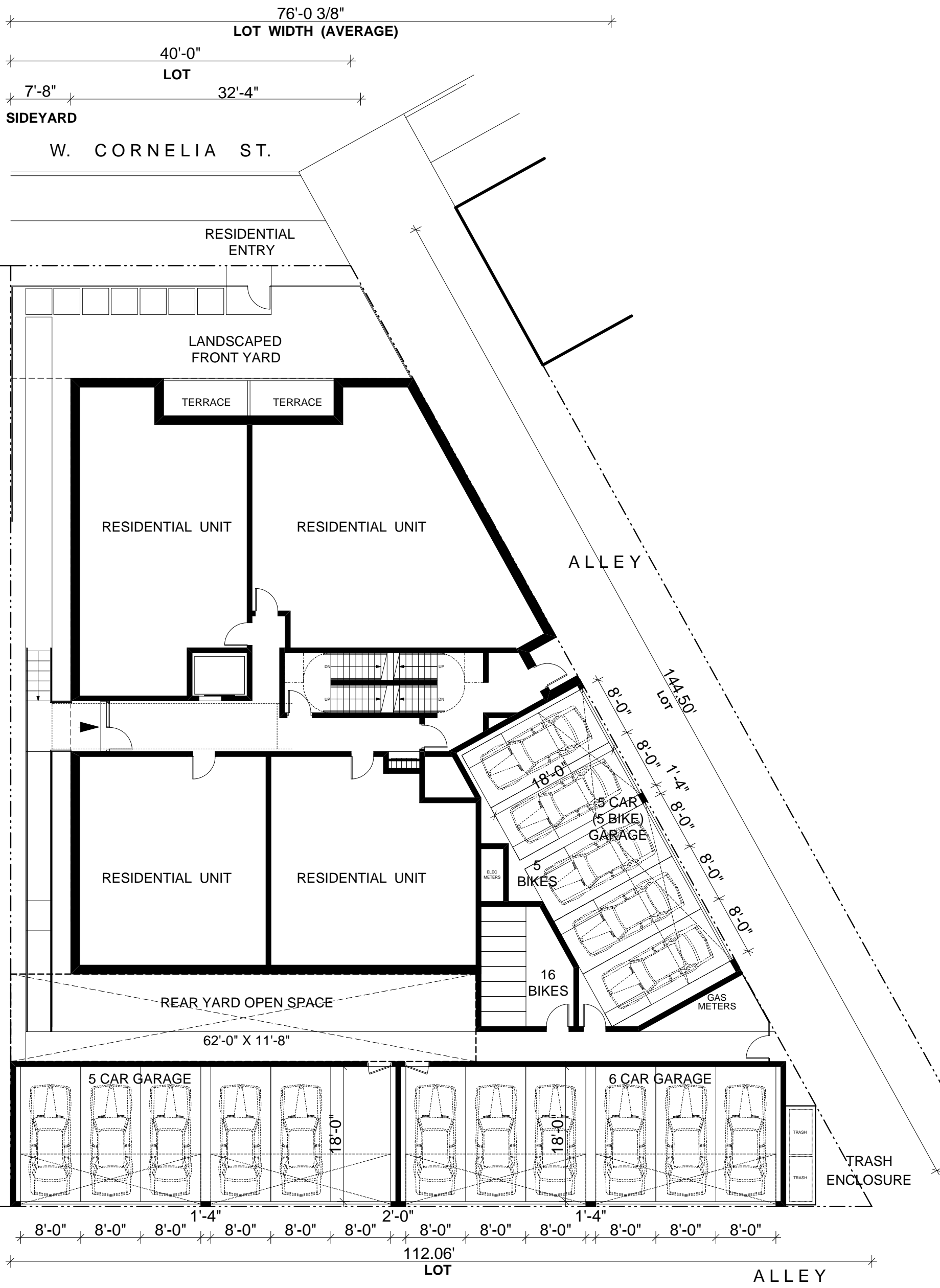


NORTH



SITE PLAN
 1045 W CORNELIA

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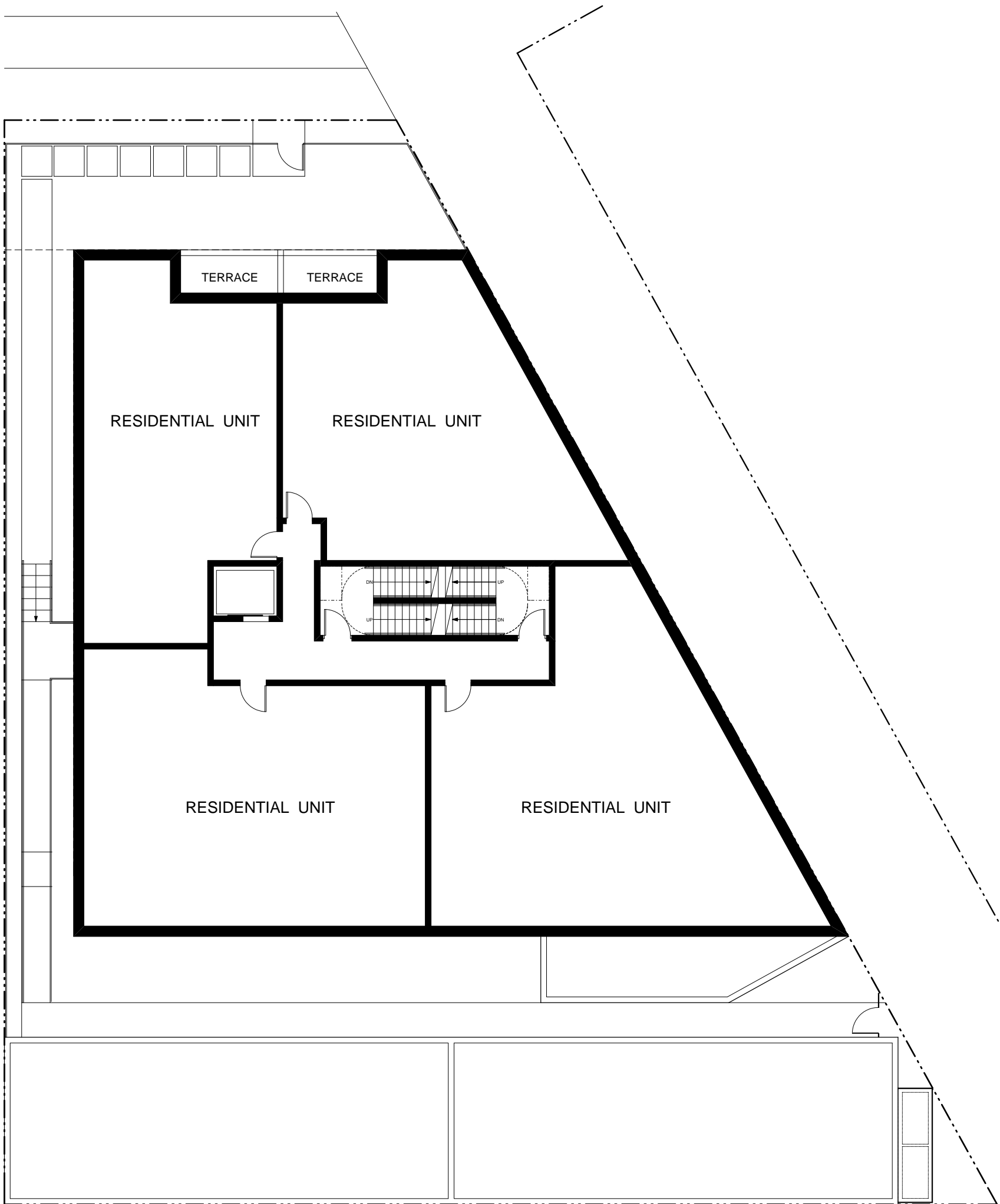


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FIRST FLOOR PLAN
1045 W CORNELIA

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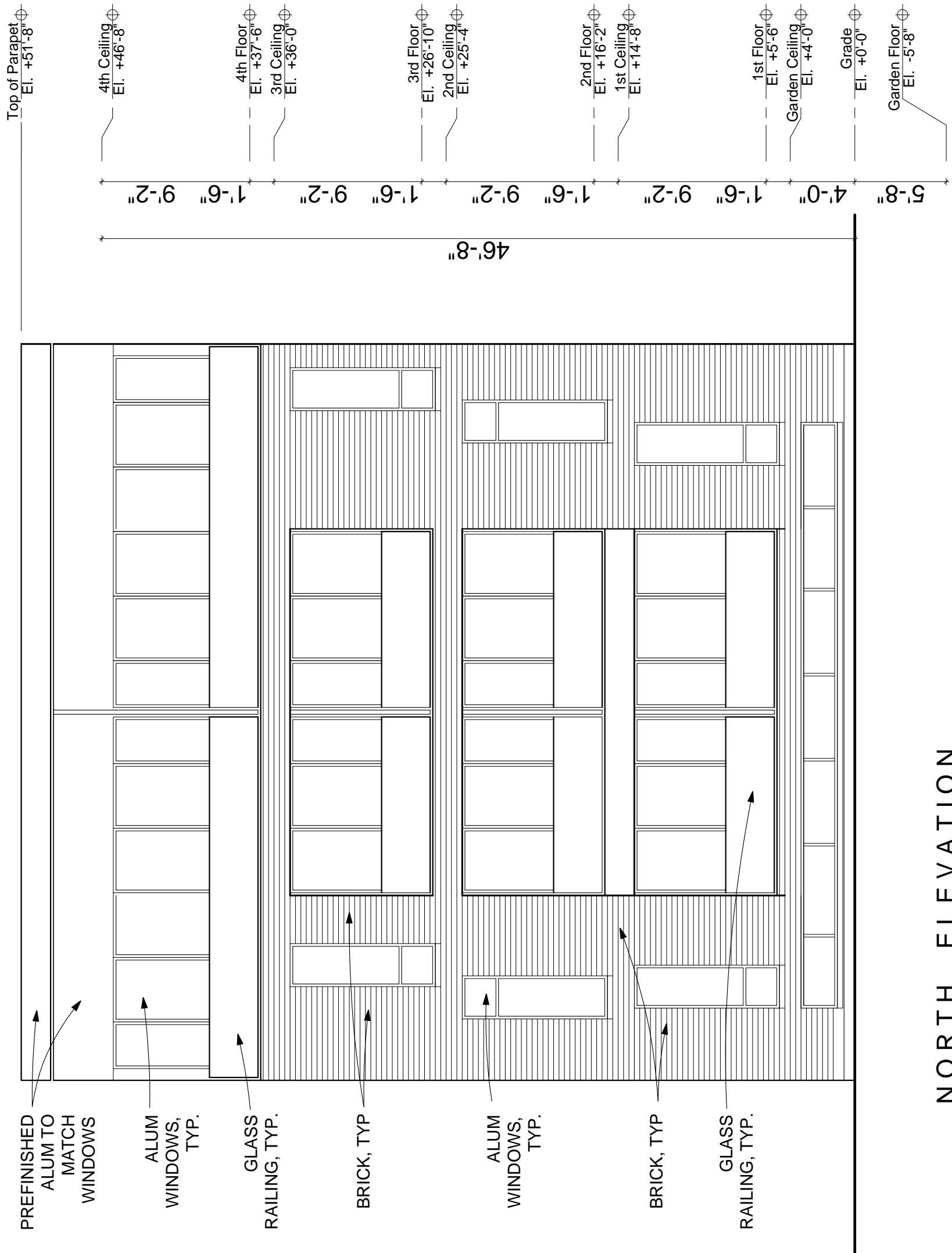


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TYPICAL FLOOR PLAN
1045 W CORNELIA

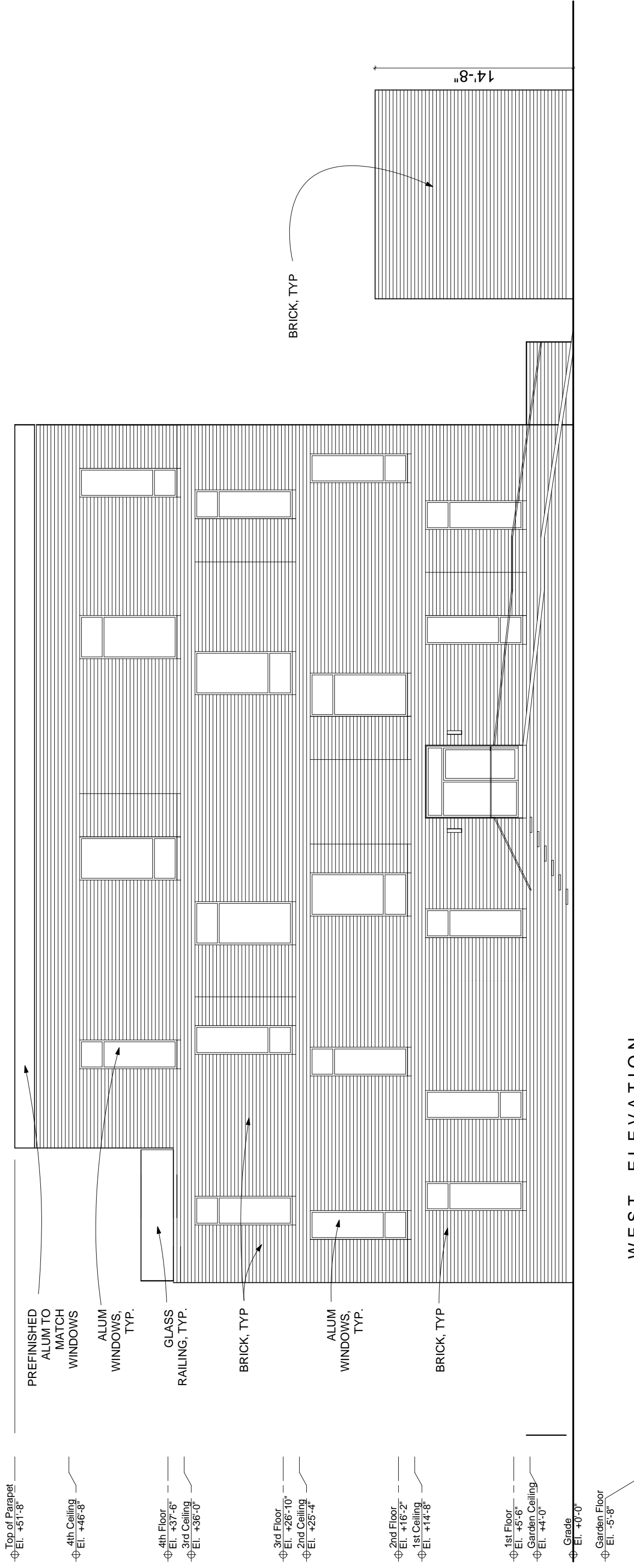
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NORTH ELEVATION

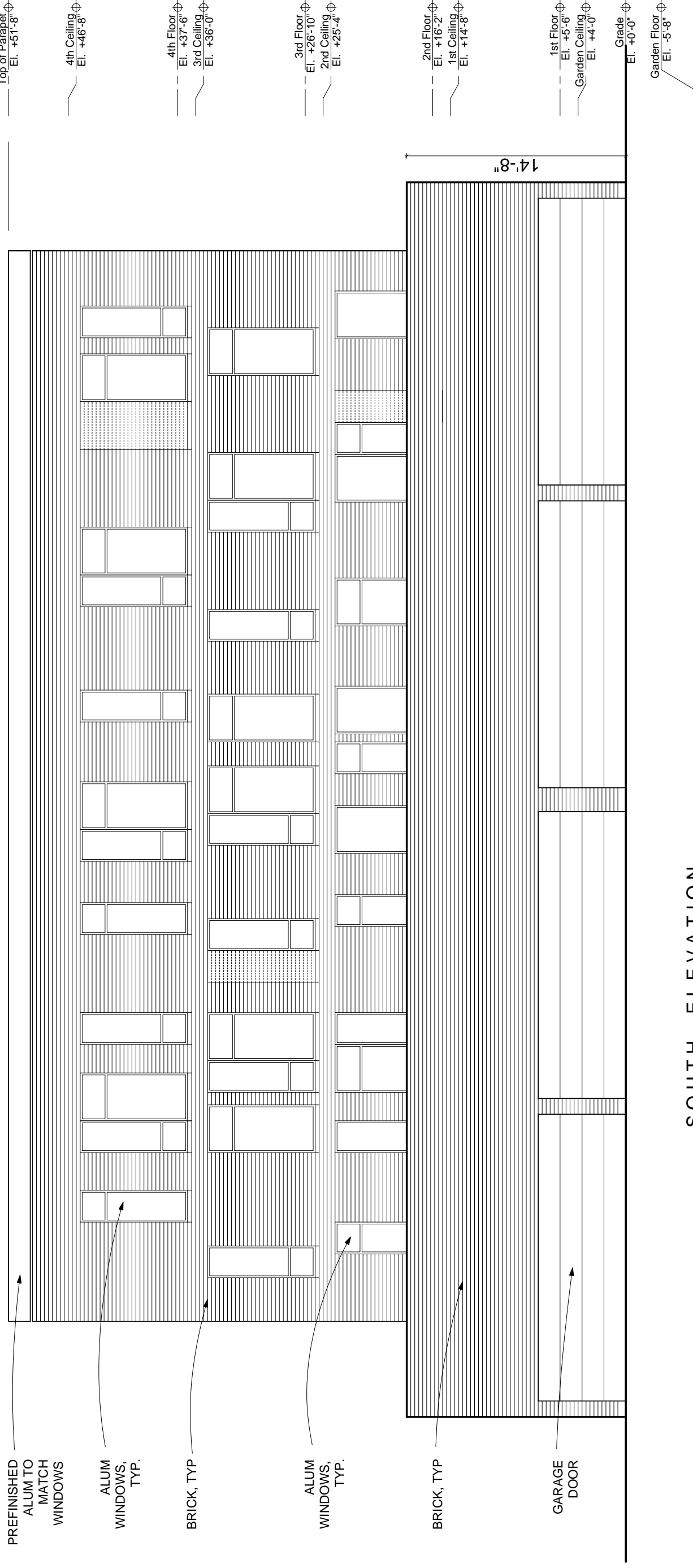
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WEST ELEVATION
1045 W CORNELIA

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PREFINISHED
ALUM TO
MATCH
WINDOVS

ALUM
WINDOVS,
TYP.

BRICK, TYP

ALUM
WINDOVS,
TYP.

BRICK, TYP

GARAGE
DOOR

Top of Parapet
El. +51'-8"

4th Ceiling
El. +46'-8"

4th Floor
El. +37'-6"
3rd Ceiling
El. +36'-0"

3rd Floor
El. +26'-10"
2nd Ceiling
El. +25'-4"

2nd Floor
El. +16'-2"
1st Ceiling
El. +14'-8"

1st Floor
El. +5'-6"
Garden Ceiling
El. +4'-0"

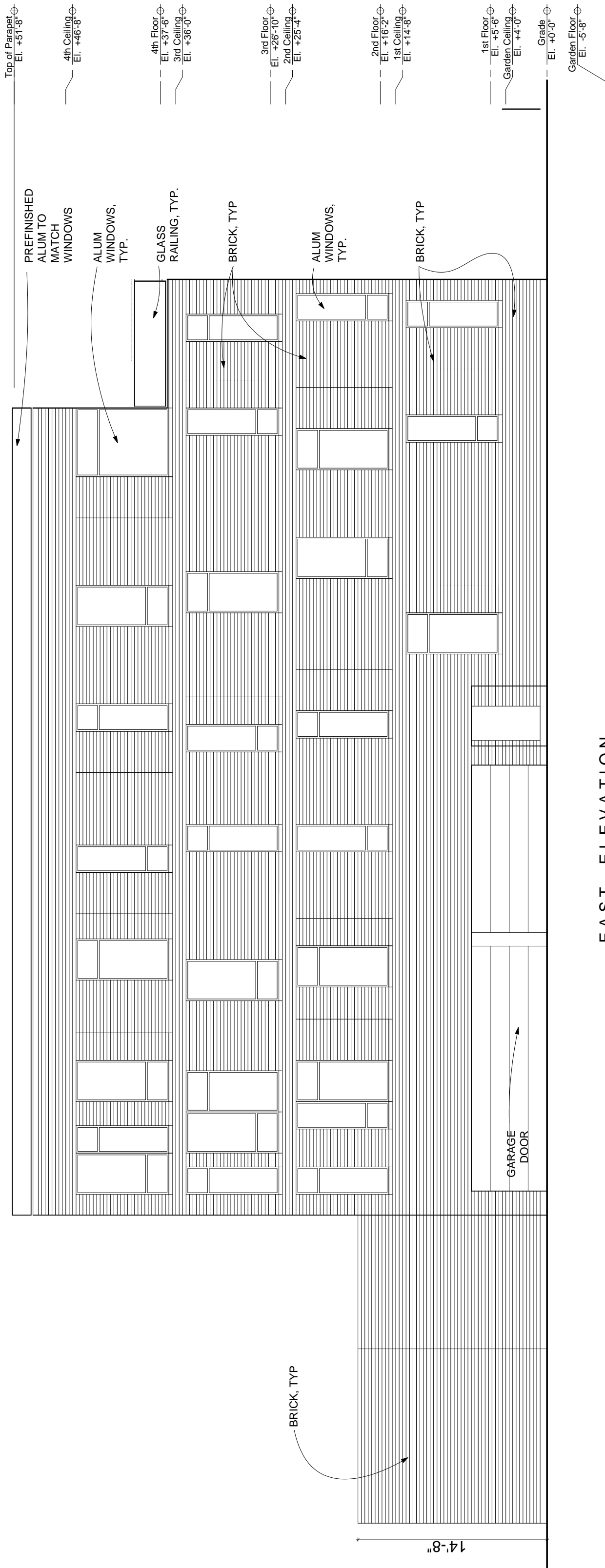
Grade
El. +0'-0"

Garden Floor
El. -5'-8"

14'-8"

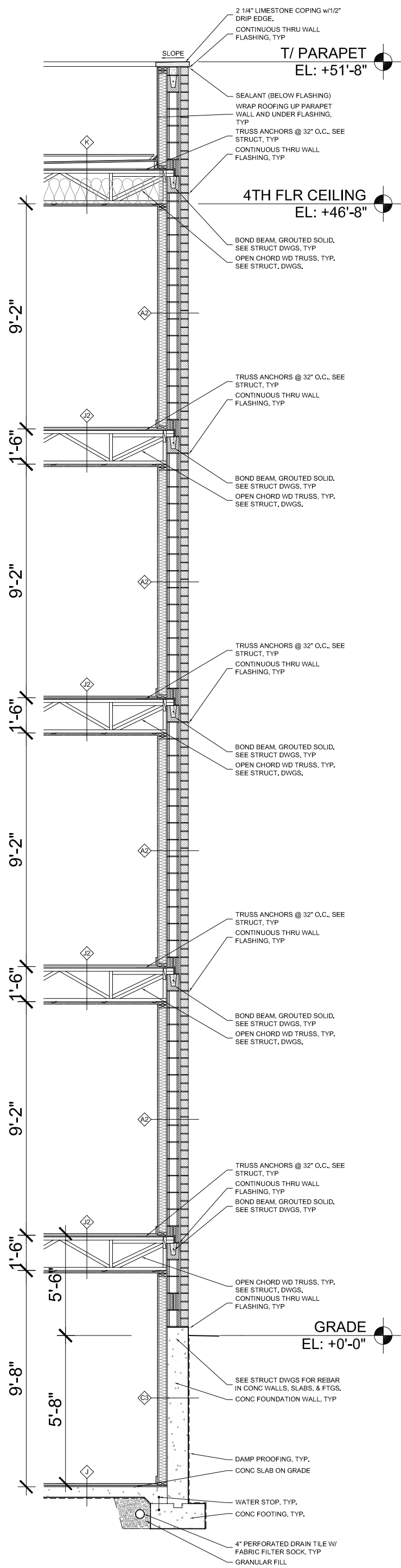
SOUTH ELEVATION
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EAST ELEVATION
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SECTION

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