

THE WHEELHOUSE HOTEL- PHASE II

3469-75 N. CLARK STREET, CHICAGO, ILLINOIS



CONSULTANT'S PROFESSIONAL STAMP



STRUCTURAL ENGINEER
LOUIS D. SHELL
LOUIS SHELL STRUCTURES



MEP ENGINEERS
ANDREW J. SILVERSTEIN
DILIGENT DESIGN GROUP

ARCHITECT'S STAMP



ARCHITECT
GEORGE P. SORICH
NORR ARCHITECTS

ARCHITECTURAL ABBREVIATIONS

ACC.	ACCESS, ACCESSIBLE	E	EA	EPOCH	LAM	LAMINATED	R	RADIUS
A.F.F.	ABOVE FINISH FLOOR	EA	EIFS	EACH	LB	POUNDS	RD	ROOF DRAIN
AGGR.	AGGREGATE	EIFS		EXTERIOR INSULATION & FINISH SYSTEM	LH	LEFT HAND REVERSE	REIN	REINFORCED
AL. ALUM.	ALUMINUM				LP	LOW POINT	RECD	REQUIRED
APPROX.	APPROXIMATE	EL	ELEV	ELEVATOR	LT	LIGHT	RHR	RIGHT HAND REVERS
ARCH.	ARCHITECTURAL	ENT	ENTR	ENTRANCE	LTG	LIGHTING	ROW	RIGHT OF WAY
ACT	ACoustICAL CEILING TILE	EQ	EQU	EQUAL	MTL	MATERIAL	SCHED	SCHEDULED
A.D.	AREA DRAIN	EXP	EXP	EXPANSION JOINT	MAX	MAXIMUM	SCWD	SOLID CORE WOOD
A.H.J.	AUTHORITY HAVING JURISDICTION	EXT	EXT	EXISTING	MECH	MECHANICAL	SHT	SHEET
A.W.B.	AIR AND WATER BARRIER	EX	EX	EXISTING	MECH	MECHANICAL	SIM	SIMILAR
AWP	ACoustICAL WALL PANEL	FB	FB	FACE BRICK	MEB	MECHANICAL ELECTRICAL	SC	SECTION
B	BOTTOM OF	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
B1	BOARD	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
B.L.	BUILDING LINE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
BLDG.	BUILDING	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
BM	BENCHMARK	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
BT	BOTTOM OF	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
BRG.	BEARING	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
BSMT.	BASEMENT	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CC	CENTER TO CENTER	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
C.J.	CENTER LINE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CBIT	CATCH BASIN	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
C.B.	CEMENT BOARD	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CBD	CEMENT BOARD	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CEM	CEMENT	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
C.I.P.	CAST-IN-PLACE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CLC	CLOSE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CLO.	CLOSET	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CLR	CLEAR	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CML	CONCRETE MASONRY UNIT	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
COL	COLUMN	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CONC.	CONCRETE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CONSTR.	CONSTRUCTION	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CONT	CONTINUOUS	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CSK	COUNTERSINK	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CT	CERAMIC TILE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
CTR	CENTER	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DBL	DOUBLE	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DEMO	DEMOLITION	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
D.F.	DRAINAGE FOUNTAIN	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DIA	DIAMETER	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DIM	DIMENSION	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DN	DOWN	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DS	DOWNSPOUT	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DR	DOOR	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DTL	DETAIL	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET
DWG	DRAWING	FIN	FIN	FINISH	MEB	MECHANICAL	SC	SHEET

SYMBOL LEGEND

COLUMN / GRIDLINE	SECTION CUT MARK
EXTERIOR ELEVATION MARK	DETAIL CALLOUT
INTERIOR ELEVATION MARK	DRAWING TITLE
DIMENSIONS	WINDOW TAG
ELEVATION TAG	DOOR TAG
NORTH ARROW	WALL TAG
Room name	REVISION TAG
101	
ROOM TAG	

ARCHITECT'S CERTIFICATIONS

- NOTES:
- ALL INTERIOR WALL, FLOOR, CEILING AND TRIM MATERIALS SHALL COMPLY WITH CHICAGO BUILDING CODE 2015 INCLUSIVE.
 - EGRESS DOORS SHALL BE ARRANGED SO AS TO BE READILY OPENED WITHOUT THE USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
 - ALL FINISHES FOR INTERIOR WALLS AND CEILINGS TO BE CLASS 2, FLAME SPREAD 0-25.
 - ALL FLOOR COVERINGS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 75.

I HEREBY CERTIFY THAT THESE DRAWINGS / DOCUMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE APPLICABLE BUILDING AND ZONING CODES OF THE CITY OF CHICAGO, STATE OF ILLINOIS.

SIGNED: *George Sam Phillips-Sorich* DATE: 7/12/2017

GEORGE SAM PHILLIPS-SORICH
ILLINOIS LICENSE #C-31078 LICENSE EXPIRES 11/30/2018

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP), I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR

ADDRESS: 3469-75 NORTH CLARK STREET, CHICAGO IL 60657

FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS EFFECTIVE APRIL 22, 2009.

SIGNED: *D. Wallace Funk* DATE: 7/14/17

D. WALLACE FUNK
ILLINOIS LICENSE # 001-013038 LICENSE EXPIRES 11/30/2016



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A0-01	CODE MATRIX	1
A0-02	LIFE SAFETY DIAGRAM	1
A0-02.1	SCOPE OF WORK PLANS	1
A0-03	ACCESSIBILITY DISTRIBUTION & MOUNTING HEIGHTS	1
A0-03.1	ACCESSIBILITY DIAGRAMS	1
A0-05	WALL TYPES AND GENERAL NOTES	1
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A2-07	ROOF PLAN	1
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VICINITY MAP



PROJECT DATA

ZONING	B3-5
LOT SIZE	3517 SF
BUILDING SIZE	
LOWER LEVEL	2,716 SF
FIRST FLOOR	3,240 SF
SECOND FLOOR	3,337 SF
THIRD FLOOR	3,337 SF
FOURTH FLOOR	3,337 SF
FIFTH FLOOR	3,337 SF
SIXTH FLOOR	1,126 SF
TOTAL SQUARE FOOTAGE	20,430 SF
FLOOR AREA RATIO	
MAX ALLOWED	21,102 SF
ACTUAL	17,714 SF
NUMBER OF UNITS PLANNED	
DWELLING UNITS	26
ADA DWELLING UNITS	1
TOTAL NUMBER OF UNITS	28
	REQUIRED PROPOSED
BUILDING HEIGHT	
YARDS	
FRONT (WEST)	0 0
REAR (EAST)	30'-0" 0
SIDE (NORTH)	0 0
SIDE (SOUTH)	0 0
PARKING	0 0
TOD ORDINANCE BICYCLE PARKING	0 0
LOADING (10'x25')	1 0

PROJECT
NORR PROJECT NO.: NICH16.0101.00

The Wheelhouse Hotel

PHASE II

3469-75 N. Clark CHICAGO, ILLINOIS 60657

OWNER

HOLIDAY JONES
1659 W. DIVISION STREET
CHICAGO, IL 60622
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CIVIL ENGINEER

NOT FOR CONSTRUCTION

SHEET INFORMATION

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DATE ISSUED Issue Date

SHEET TITLE

COVER SHEET

PROFESSIONAL STAMP SHEET NUMBER



A0-00

CERTIFIED SURVEY, INC.

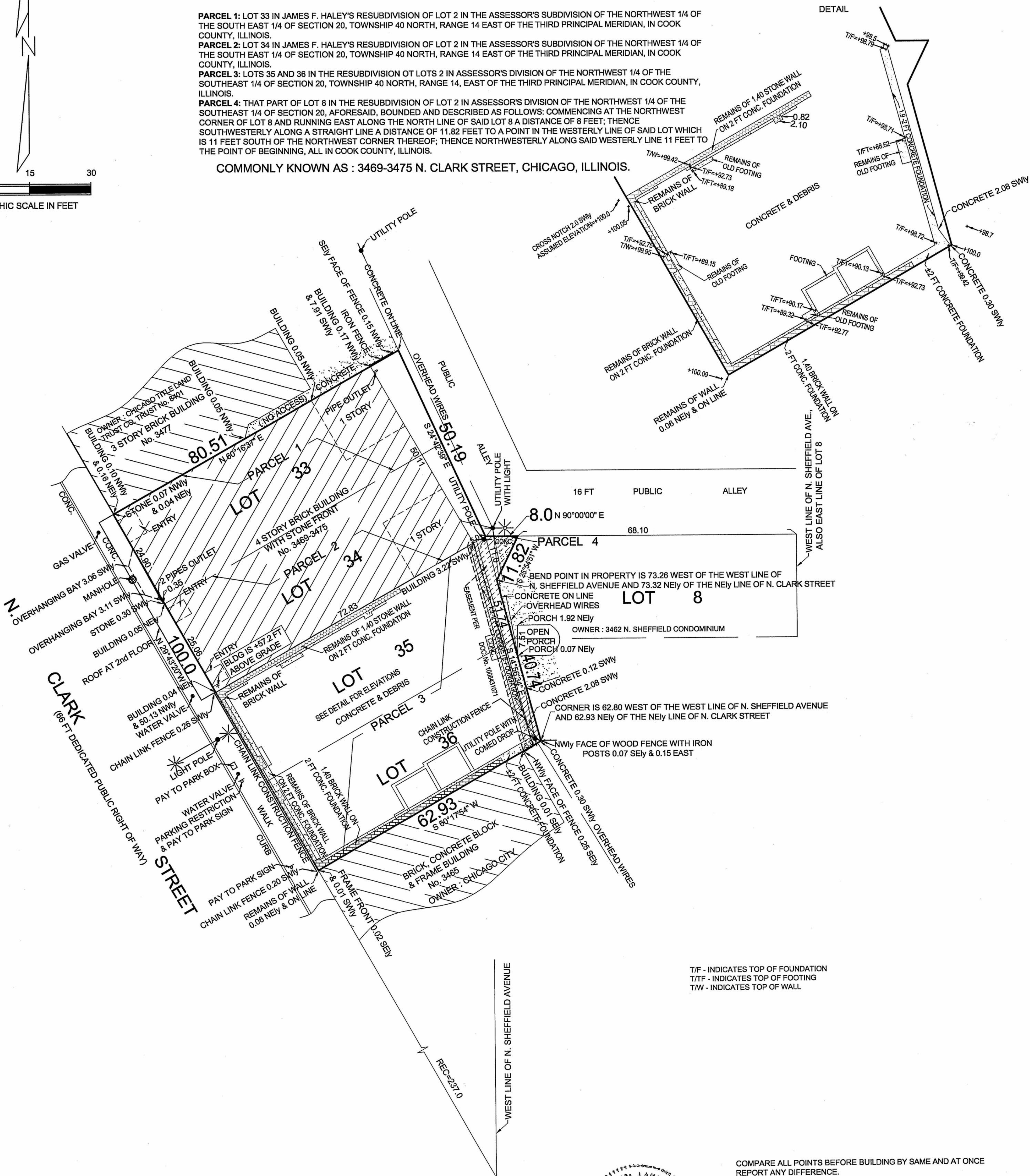
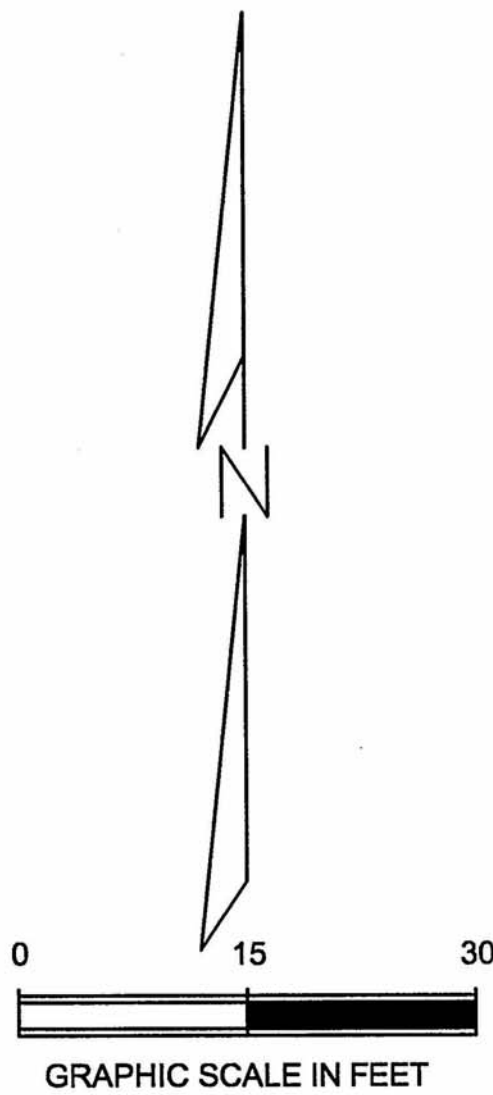
1440 Renaissance Drive, Suite 140, Park Ridge, IL 60068 Phone 847-296-6900 Fax 847-296-6906

Email : surveys@certifiedsurvey.com

PLAT OF SURVEY

PARCEL 1: LOT 33 IN JAMES F. HALEY'S RESUBDIVISION OF LOT 2 IN THE ASSESSOR'S SUBDIVISION OF THE NORTHWEST 1/4 OF THE SOUTH EAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
PARCEL 2: LOT 34 IN JAMES F. HALEY'S RESUBDIVISION OF LOT 2 IN THE ASSESSOR'S SUBDIVISION OF THE NORTHWEST 1/4 OF THE SOUTH EAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
PARCEL 3: LOTS 35 AND 36 IN THE RESUBDIVISION OT LOTS 2 IN ASSESSOR'S DIVISION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
PARCEL 4: THAT PART OF LOT 8 IN THE RESUBDIVISION OF LOT 2 IN ASSESSOR'S DIVISION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 20, AFORESAID, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 8 AND RUNNING EAST ALONG THE NORTH LINE OF SAID LOT 8 A DISTANCE OF 8 FEET; THENCE SOUTHWESTERLY ALONG A STRAIGHT LINE A DISTANCE OF 11.82 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT WHICH IS 11 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE NORTHWESTERLY ALONG SAID WESTERLY LINE 11 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS : 3469-3475 N. CLARK STREET, CHICAGO, ILLINOIS.



T/F - INDICATES TOP OF FOUNDATION
T/TF - INDICATES TOP OF FOOTING
T/W - INDICATES TOP OF WALL

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING

ORDER No. 150467 (Y)

DATE: FEBRUARY 23, 2017

ORDERED BY: HORIZON REALTY GROUP

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

DECIMALS OF FOOT AND THEIR EQUIVALENT IN INCHES AND FRACTIONS THEREOF.

.01=1/8"	.07=7/8"	.50=6"
.02=1/4"	.08=1"	.58=7"
.03=3/8"	.17=2"	.67=8"
.04=1/2"	.25=3"	.75=9"
.05=5/8"	.33=4"	.83=10"
.06=3/4"	.42=5"	.92=11"
		1.0=12"



COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. MONUMENTS NOT SET PER REQUEST OF CLIENT.

WE CERTIFIED SURVEY, INC DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

PROFESSIONAL ILLINOIS LAND SURVEYOR
LICENSE EXPIRES NOVEMBER 30, 2018

PROJECT
NORR PROJECT NO.: NICH16.0101.00

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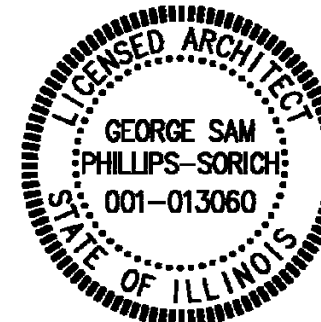
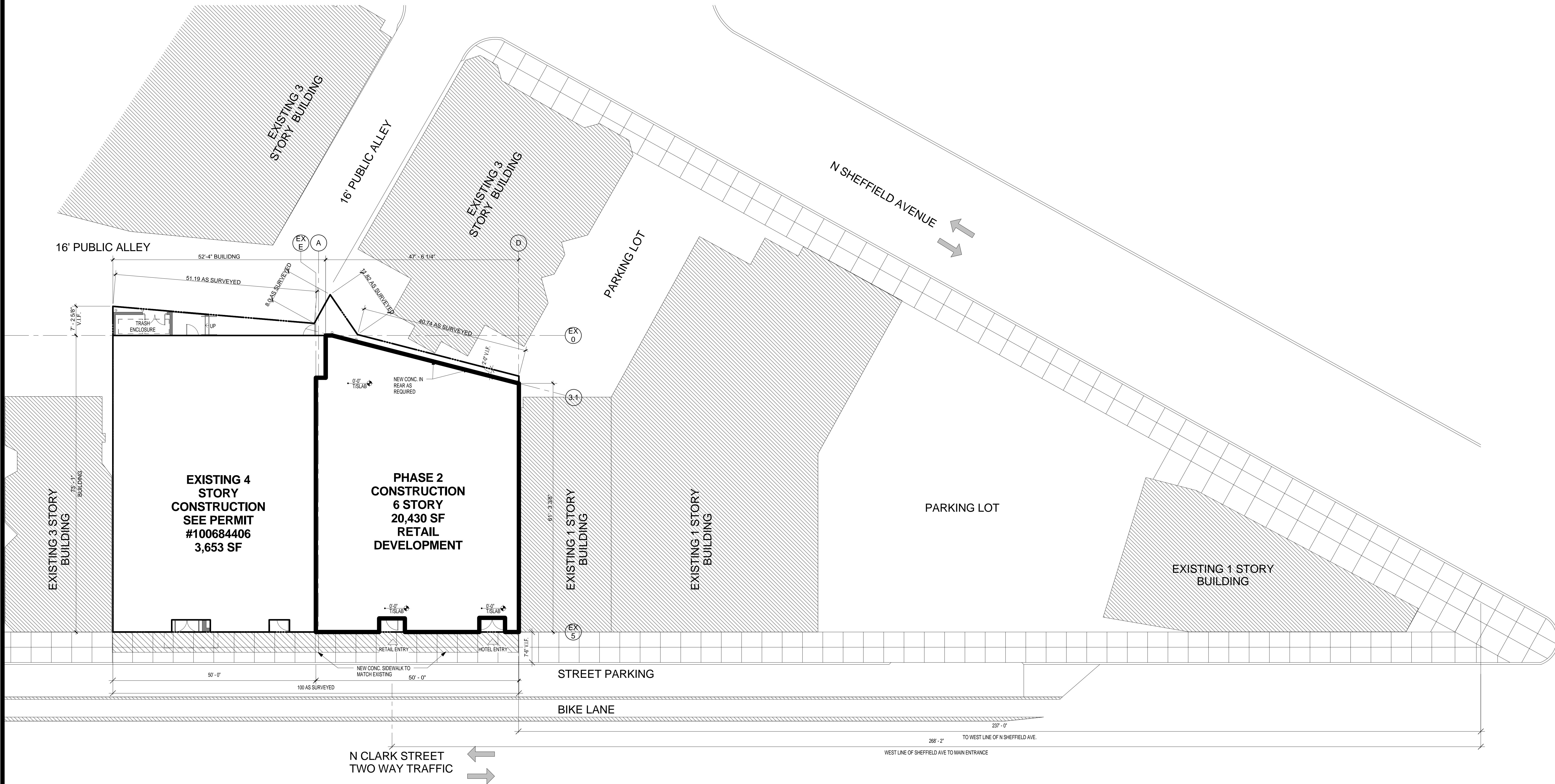
PS0-01

SITE PLAN NOTES

1. FINAL SHORING AND EXCAVATION DETAILS BY SHORING / EXCAVATION ENGINEER UNDER SEPARATE COVER.
2. GENERAL CONTRACTOR TO ENSURE ALL BUILDING ELEMENTS FALL WITHIN WHOLLY PROPERTY LINES.

LEGEND

- EXISTING SIDEWALK
PROPERTY LINE



GENERAL PLAN NOTES

- ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
- ALL HORIZONTAL RUNS OF ROOF FRANS TO BE INSULATED
- PROVIDE SEALANT BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS.
- ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED.
- PROVIDE ACCESS DAMS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS.
- PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS. FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.303.
- PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGES OF UNIT ENTRY DOORS WHERE APPLICABLE.
- ALL NON-RATED SHAFTS LESS THAN 9 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC 715.6-100.
- G.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES.
- GYP-SUM BOARD AT RATED WALLS MUST REMAIN CONTINUOUS AT INTERSECTING WALLS TO MAINTAIN REQUIRED RATING.
- SEE SHEETS A4-04 FOR ENLARGED UNIT PLANS
- ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER IECANSI 171-2003 CHAPTER 3.308 AND 3.309 (IE. 15" TO 48" AFF) (SEE ALSO DDC CHAPTER 18.1-1106.13A/C2007 AND ACG10000)
- ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST.

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS.
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A4-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A4-05 FOR PARTITION SCHEDULE
- WINDOW TAG. SEE SHEET A4-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
- COLUMN. SEE STRUCTURAL DWGS.
- FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
- EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
- EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
- PROPERTY LINE
- CANE RAIL. 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL.
- 42" HIGH GUARD RAIL.
- EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
- STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
- STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 10A4-02 FOR DETAIL.
- EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/MASONRY WATERPROOF PAINT.
- EXISTING ADJACENT PROPERTY
- ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A0-03.1 FOR SPECIFICATIONS.
- PEDESTAL AND PAVES FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 ON A5-01.
- NOT USED.
- NOT USED.
- ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TV. MOBILE KITS TO BE PROVIDED BY OWNER.
- UTILITY SINK. SEE ENLARGED PLAN A1A4-03 FOR DETAILS.
- ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
- KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
- NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
- NOT USED
- PARAPET WALL 3'-6" A.F.F.
- LINE OF FOUNDATION WALL BELOW.
- CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
- POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
- POOL. 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
- ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION.
- ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
- POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
- EMERGENCY TELEPHONE
- EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER.

PROJECT

NORR PROJECT NO.: NICH16.0101.00

The Wheelhouse Hotel

PHASE II

3469-75 N. Clark CHICAGO,
ILLINOIS 60657

OWNER

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SHEET INFORMATION

ISSUES / REVISIONS

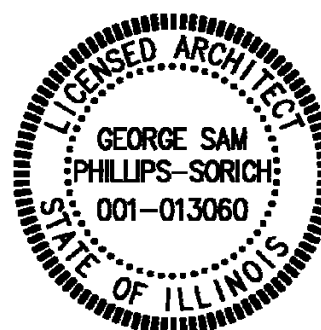
NO.	DATE	DESCRIPTION
1	7.12.2017	ISSUED FOR PERMIT
2	8.21.2017	ADDENDUM 1
3	10/13/2017	PERMIT REVISION

DATE ISSUED Issue Date

SHEET TITLE

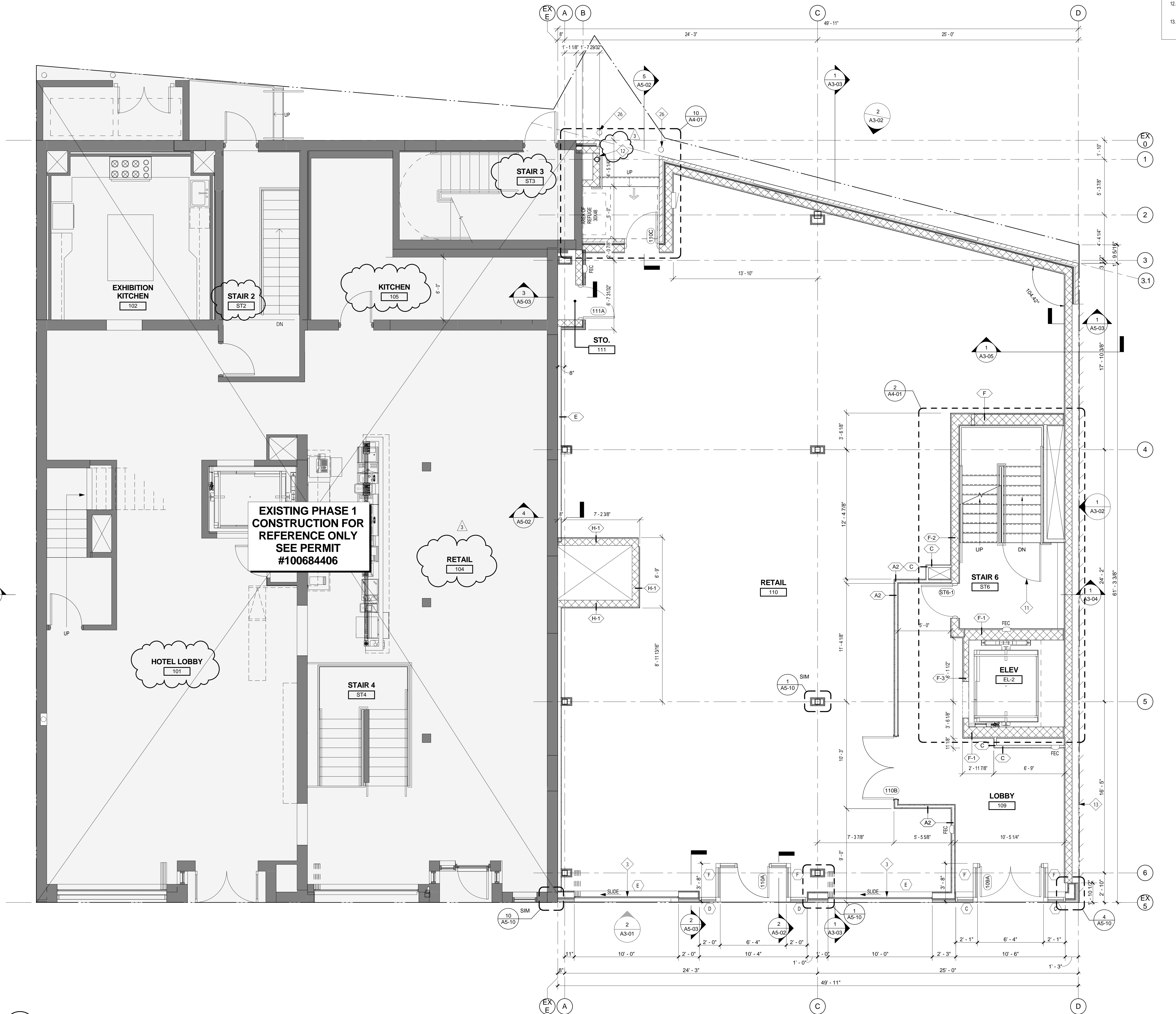
LOWER LEVEL
FLOOR PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-00

1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL PLAN NOTES

1. ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF FRANS TO BE INSULATED
3. PROVIDE SEALANT BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS.
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED.
5. PROVIDE ACCESS OBERKS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS.
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS. FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.303.
7. PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE.
8. ALL NON-RATED SHAFTS LESS THAN 9 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC (715-9-140)
9. C.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES.
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN CONTINUOUS AT INTERSECTING WALLS MANTAIN REQUIRED RATING.
11. SEE SHEETS 44-04 FOR ENLARGED UNIT PLANS
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER CCANS117-1-2003 CHAPTER 3.308 AND 3.309 (I.E. 15" TO 48" AFF) (SEE ALSO CBC CHAPTER 18-11-1108.13)(ACOT0007 AND AGC0008)
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST.

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS.
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A0-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A0-05 FOR PARTITION SCHEDULE
- WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE
7. CANE RAIL 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL.
8. 42" HIGH GUARD RAIL.
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 10A-02 FOR DETAIL.
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/ MASONRY WATERPROOF PAINT.
13. EXISTING ADJACENT PROPERTY
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A-03.1 FOR SPECIFICATIONS.
15. PEDESTAL AND PAVES FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 ON A5-01.
16. NOT USED.
17. NOT USED.
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/ VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TTY. MOBILE KITS TO BE PROVIDED BY OWNER.
19. UTILITY SINK. SEE ENLARGED PLAN A1A-03 FOR DETAILS.
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW.
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
28. POOL. 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION.
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
32. EMERGENCY TELEPHONE
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER.

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT
NORR PROJECT NO.: NICH16.0101.00
The Wheelhouse Hotel

PHASE II
3469-75 N. Clark CHICAGO,
ILLINOIS 60657

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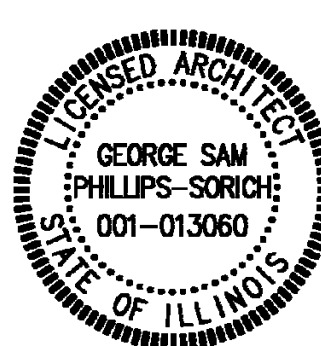
CIVIL ENGINEER

SHEET INFORMATION		
ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
2	8.21.2017	ADDENDUM 1

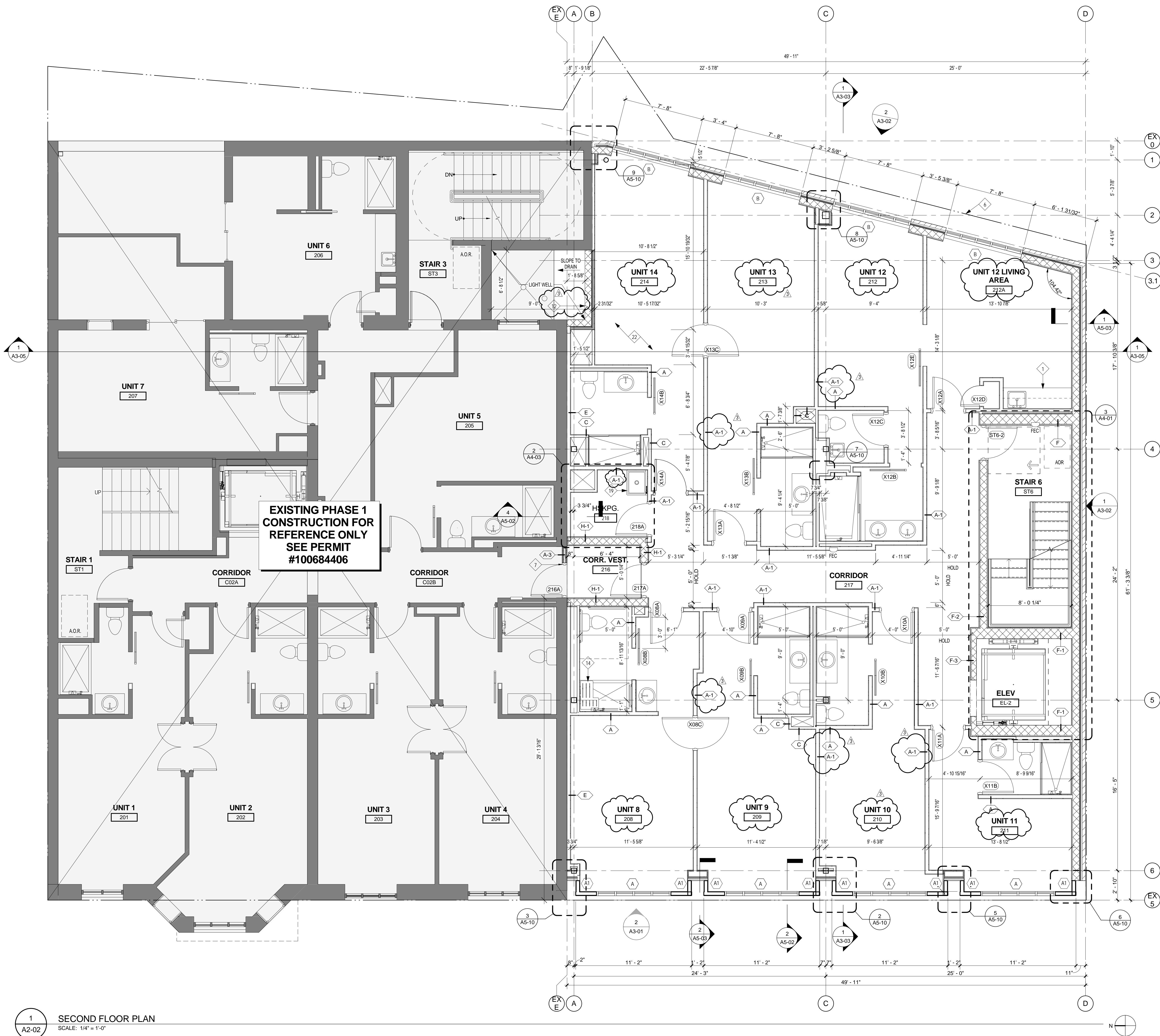
DATE ISSUED Issue Date
SHEET TITLE

FIRST FLOOR PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-01



GENERAL PLAN NOTES

1. ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF FRANKS TO BE INSULATED
3. PROVIDE SEALANT BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS.
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED.
5. PROVIDE ACCESS CABS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS.
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS, FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.3.03.
7. PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE.
8. ALL NON-RATED SHAFTS LESS THAN 9'-0" IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC 715-5-100.
9. S.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES.
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN RATING AT INTERSECTING WALLS TO MAINTAIN REQUIRED RATING.
11. SEE SHEETS A4-04 FOR ENLARGED UNIT PLANS.
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER IEC/ANSI 117.1.3.03 CHAPTER 3.3.08 AND 3.3.09 (I.E. 15" TO 48" AFF) (SEE ALSO CBC CHAPTER 18-11-1108.13/ACG7000 AND ACG7008).
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST.

LEGEND

- | | |
|--|---|
| | MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS. |
| | NEW WALL. |
| | EXISTING WALL. |
| | EXISTING BUILDING - NO WORK. |
| | WALL TAG SEE SHEET A0-04 FOR WALL TYPES. |
| | DOOR TAG SEE SHEET A0-06 FOR PARTITION SCHEDULE. |
| | WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES. |
| | ROOF PAVERS. |
| | HOSE BIB. |
| | ROOF DRAIN. |
| | FLOOR DRAIN. |

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE.
7. CANE RAIL. 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL.
8. 42" HIGH GUARD RAIL.
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 10A4-02 FOR DETAIL.
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/MASONRY WATERPROOF PAINT.
13. EXISTING ADJACENT PROPERTY.
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A/0-03.1 FOR SPECIFICATIONS.
15. PEDESTAL AND PAVES FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 ON A5-01.
16. NOT USED.
17. NOT USED.
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET, AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TTY. MOBILE KITS TO BE PROVIDED BY OWNER.
19. UTILITY SINK. SEE ENLARGED PLAN A14-03 FOR DETAILS.
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED.
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW.
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
28. POOL 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION.
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS.
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
32. EMERGENCY TELEPHONE.
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER.

PROJECT

NORR PROJECT NO.: NICH16.0101.00

The Wheelhouse Hotel

PHASE II

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SHEET INFORMATION

ISSUES / REVISIONS

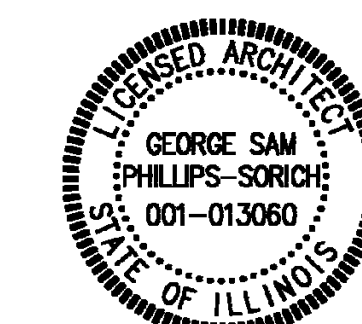
NO.	DATE	DESCRIPTION
1	7.12.2017	ISSUED FOR PERMIT
2	8.21.2017	ADDENDUM 1
3	10/13/2017	PERMIT REVISION

DATE ISSUED Issue Date

SHEET TITLE

SECOND FLOOR
PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-02

GENERAL PLAN NOTES

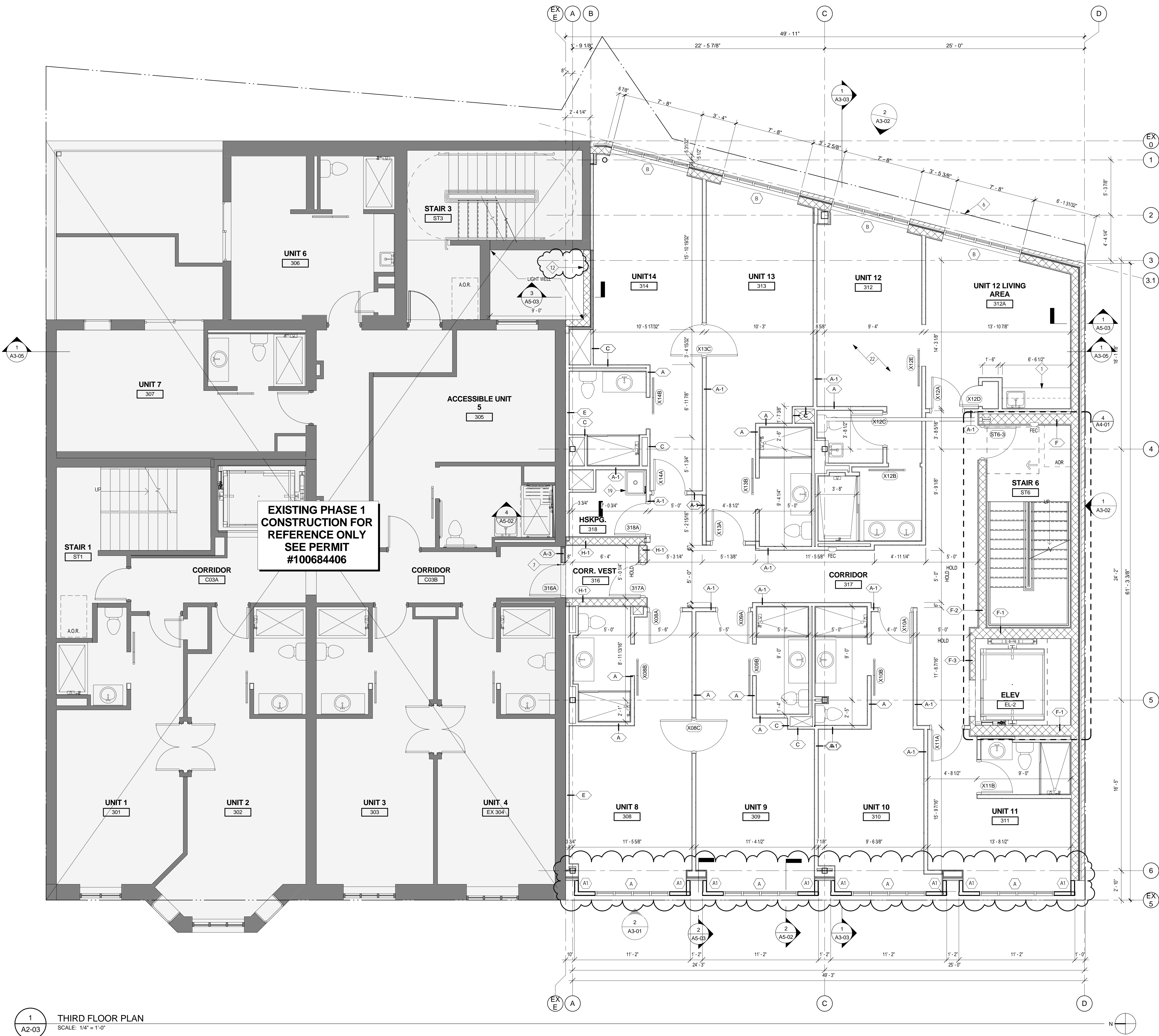
1. ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF PIPES TO BE INSULATED
3. PROVIDE SEALANT BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED
5. PROVIDE ACCESS DAMPS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS, FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.303
7. PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE
8. ALL NON-RATED SHIFTS LESS THAN 9 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC 715-9-160
9. G.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN CONTINUOUS AT INTERSECTING WALLS TO MAINTAIN REQUIRED RATING
11. SEE SHEETS A4-04 FOR ENLARGED UNIT PLANS
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER ICC/ANSI 117-2.003 CHAPTER 3.308 AND 3.309 (I.E. 15' TO 48" AFF) (SEE ALSO CBC CHAPTER 18-11-1108.13/ACG07007 AND ACG07008)
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND ROOS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS.
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A0-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A0-05 FOR PARTITION SCHEDULE
- WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE
7. CANE RAIL. 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL
8. 42" HIGH GUARD RAIL
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 1004-02 FOR DETAIL
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/ MASONRY WATERPROOF PAINT.
13. EXISTING ADJACENT PROPERTY
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A0-03.1 FOR SPECIFICATIONS
15. PEDESTAL AND PAVES FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 OR A5-01
16. NOT USED.
17. NOT USED.
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TTY. MOBILE KITS TO BE PROVIDED BY OWNER.
19. UTILITY SINK. SEE ENLARGED PLAN A104-03 FOR DETAILS.
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW.
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
28. POOL 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION.
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
32. EMERGENCY TELEPHONE
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER.



1
A2-03
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT

NORR PROJECT NO.: NICH16.0101.00

The Wheelhouse Hotel

PHASE II

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SHEET INFORMATION

ISSUES / REVISIONS

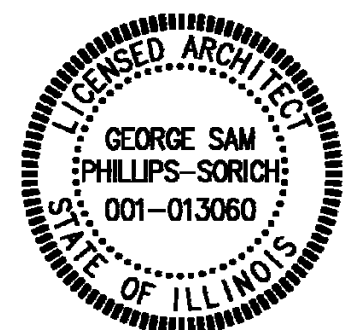
NO.	DATE	DESCRIPTION
2	8.21.2017	ADDENDUM 1

DATE ISSUED Issue Date

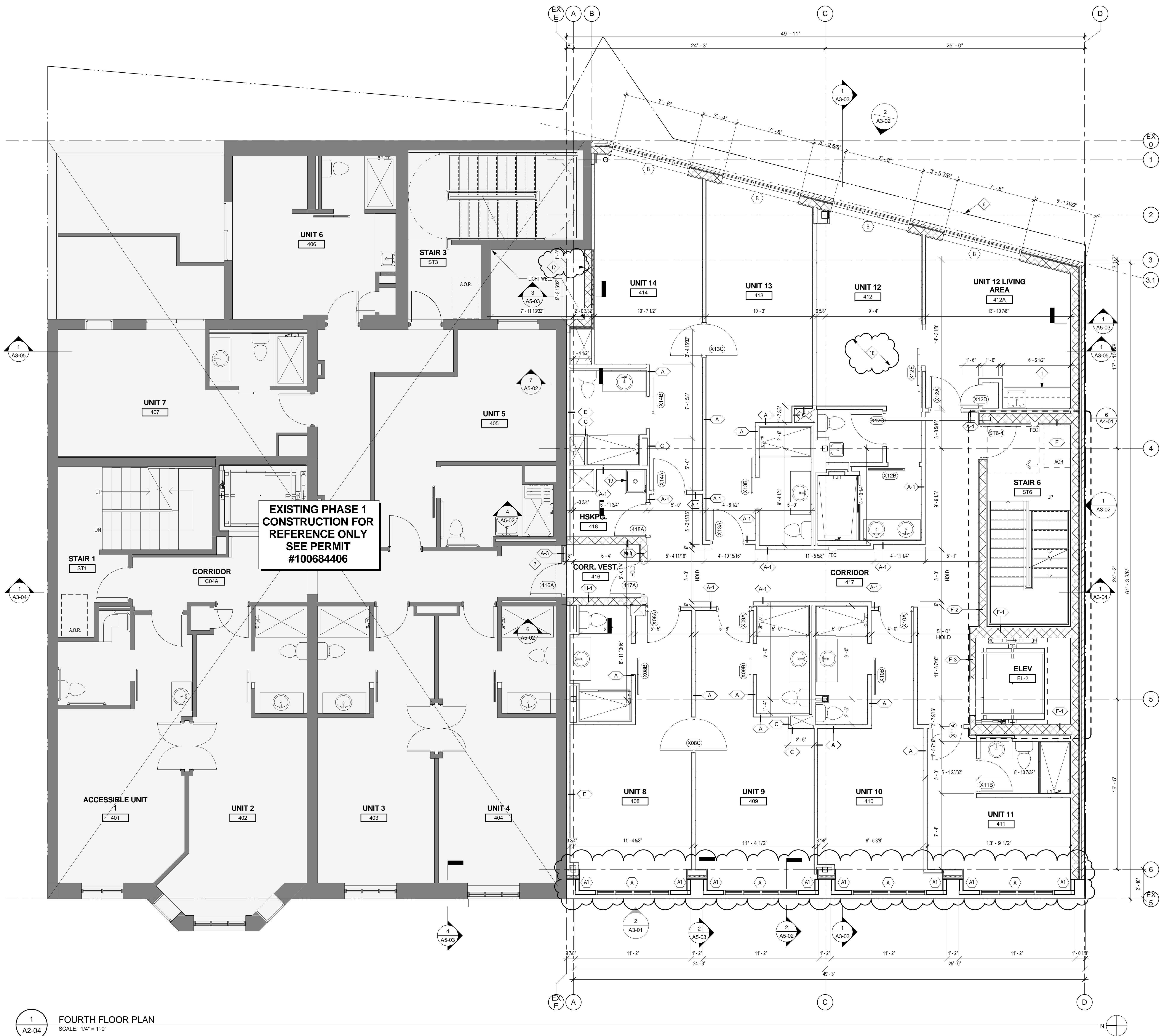
SHEET TITLE

THIRD FLOOR PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-03



1
A2-04
FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

1. ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF FRANS TO BE INSULATED
3. PROVIDE SLANTY BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED
5. PROVIDE ACCESS CABINETS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS. FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.303
7. PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE
8. ALL NON-RATED SHAFTS LESS THAN 8 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC (715-9-140)
9. S.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN CONTINUOUS AT INTERSECTING WALLS MANTAIN REQUIRED RATING
11. SEE SHEETS 44-04 FOR ENLARGED UNIT PLANS
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER ICC/ANSI 117-2003 CHAPTER 3.306 AND 3.309 (I.E. 15" TO 48" AFF) (SEE ALSO CBC CHAPTER 18-11-1108.13)(AC07007 AND AC07009)
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A4-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A4-05 FOR PARTITION SCHEDULE
- WINDOW TAG SEE SHEET A4-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE
7. CANE RAIL 27" MAX HEIGHT, 1-1/2" O.D. STEEL PIPE RAIL
8. 42" HIGH GUARD RAIL
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 10A4-02 FOR DETAIL
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/MASONRY WATERPROOF PAINT
13. EXISTING ADJACENT PROPERTY
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A40-03.1 FOR SPECIFICATIONS
15. PEDESTAL AND PAVEMENT FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 ON A5-01
16. NOT USED
17. NOT USED
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND 1TY. MOBILE KITS TO BE PROVIDED BY OWNER
19. UTILITY SINK. SEE ENLARGED PLAN A1A4-03 FOR DETAILS
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS
28. POOL. 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING
32. EMERGENCY TELEPHONE
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER

PROJECT
NORR PROJECT NO.: NICH16.0101.00
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SHEET INFORMATION

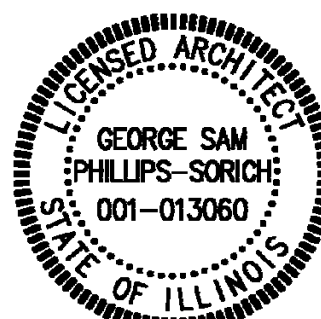
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7.12.2017	ISSUED FOR PERMIT
2	8.21.2017	ADDENDUM 1

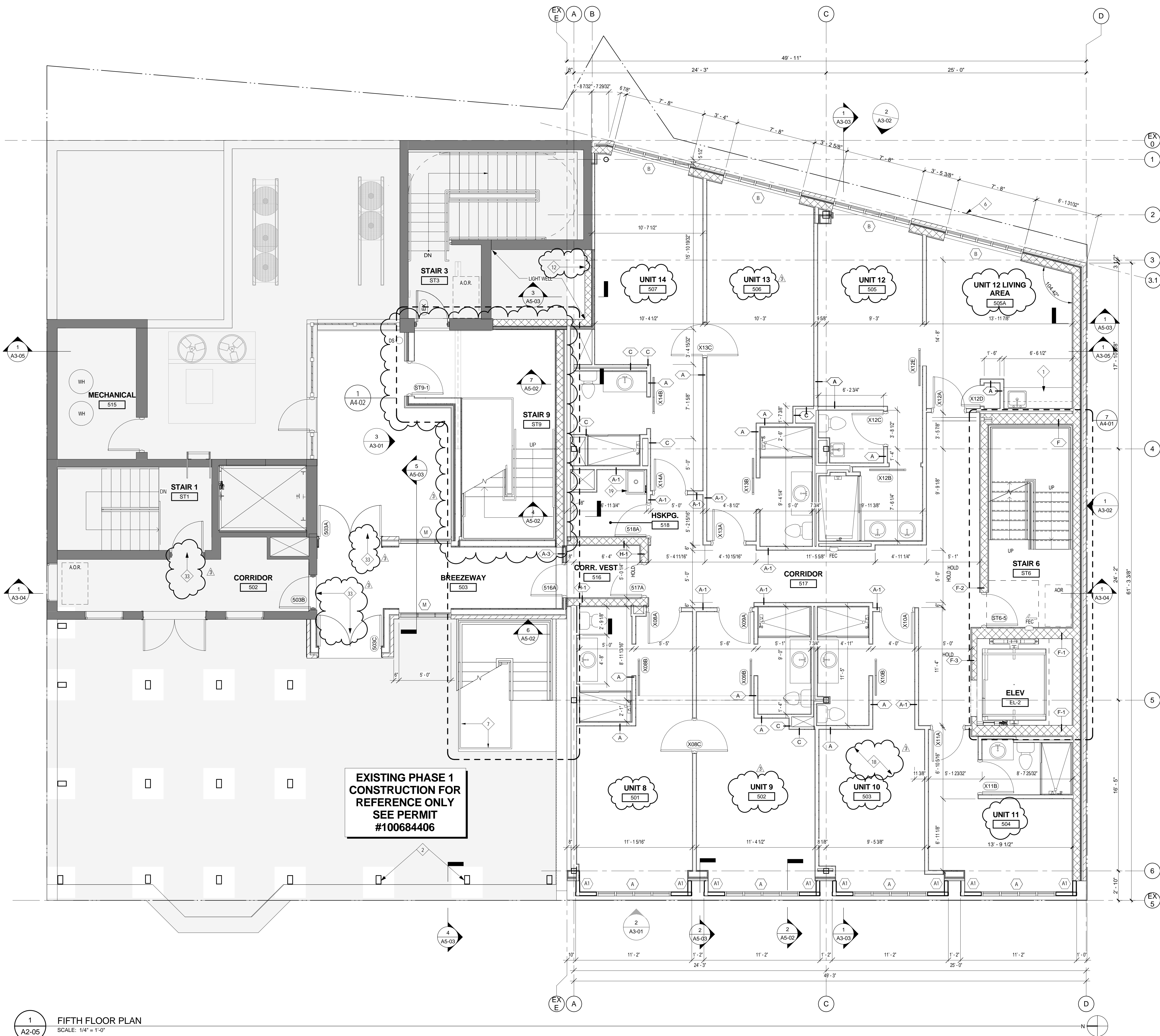
DATE ISSUED Issue Date
SHEET TITLE

FOURTH FLOOR
PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-04



GENERAL PLAN NOTES

1. ALL RECEPTACLES AT 18" A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF DRAINS TO BE INSULATED
3. PROVIDE SEALANT GASKETS AT INTERSECTION OF ALL BUILDING COMPONENTS.
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED.
5. PROVIDE ACCESS GABERS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS.
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS. FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.303.
7. PROVIDE DRYWALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE.
8. ALL NON-RATED SHAFTS LESS THAN 9 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC 715.9-160.
9. G.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES.
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN CONTINUOUS AT INTERSECTING WALLS TO MAINTAIN REQUIRED RATING.
11. SEE SHEETS A4-04 FOR ENLARGED UNIT PLANS
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER ICC/ANSI 711.2-2003 CHAPTER 3.308 AND 3.309 (I.E. 15" TO 48" AFF) (SEE ALSO CBC CHAPTER 19.1-1106.15/AC208.7 AND AGS1008)
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS.
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A0-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A0-05 FOR PARTITION SCHEDULE
- WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE
7. CANE RAIL. 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL.
8. 42" HIGH GUARD RAIL.
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 10A4-02 FOR DETAIL.
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE/MASONRY WATERPROOF PAINT.
13. EXISTING ADJACENT PROPERTY
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 15A0-03.1 FOR SPECIFICATIONS.
15. PEDESTAL AND PAVEMENT FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE R-1 ON A5-01.
16. NOT USED.
17. NOT USED.
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO/VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET, AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TV. MOBILE KITS TO BE PROVIDED BY OWNER.
19. UTILITY SINK. SEE ENLARGED PLAN A1M-03 FOR DETAILS.
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW.
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
28. POOL. 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION.
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
32. EMERGENCY TELEPHONE.
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER

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SHEET INFORMATION

ISSUES / REVISIONS

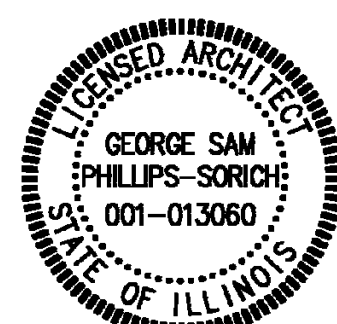
NO.	DATE	DESCRIPTION
2	8.21.2017	ADDENDUM 1

DATE ISSUED Issue Date

SHEET TITLE

FIFTH FLOOR PLAN

PROFESSIONAL STAMP SHEET NUMBER



A2-05

1
A2-05 FIFTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

1. ALL RECEPTACLES AT 15' A.F.F. UNLESS NOTED OTHERWISE
2. ALL HORIZONTAL RUNS OF ROOF PIPES TO BE INSULATED
3. PROVIDE SEALANT BEADS AT INTERSECTION OF ALL BUILDING COMPONENTS.
4. ALL EXPOSED HOT WATER AND DRAIN PIPES TO BE INSULATED.
5. PROVIDE ACCESS CHAIRS AT WATER SHUT OFF VALVES. SEE PLUMBING DRAWINGS FOR LOCATIONS.
6. PROVIDE APPROPRIATE TRANSITION STRIPS BETWEEN DIFFERING FLOORING MATERIALS. FLOORING TRANSITIONS TO COMPLY WITH ANSI 117.1.3.0.
7. PROVIDE CRYSTALL CONTROL JOINTS EVERY 25'-0" MAX. IN CORRIDORS AND LARGE ROOMS. PLACE ABOVE HINGESIDE OF UNIT ENTRY DOORS WHERE APPLICABLE.
8. ALL NON-RATED SHIFTS LESS THAN 9 S.F. IN AREA MUST HAVE NON-COMBUSTIBLE FILL BETWEEN THE FLOOR AND PIPES OR DUCTS PER CBC 715-5.160.
9. G.C. TO COORDINATE WITH SECURITY CONSULTANT FOR CCTV CAMERAS BUILDING ENTRY AND IN-UNIT VIDEO INTERCOM SYSTEM AND DOOR ACCESS CONTROL DEVICES
10. GYPSUM BOARD AT RATED WALLS MUST RETAIN CONTINUOUS AT INTERSECTING WALLS TO MAINTAIN REQUIRED RATING.
11. SEE SHEETS A4-04 FOR ENLARGED UNIT PLANS
12. ALL CIRCUIT BREAKER CONTROLS AND OPERATING MECHANISMS WITHIN UNITS TO BE WITHIN REACH RANGE PER ICGANS117.1-2003 CHAPTER 3.308 AND 3.309 (I.E. 15' TO 48" AFF) (SEE ALSO CBC CHAPTER 19-11.1108.13) (ACGT0007 AND ACGT0008)
13. ALL UNITS TO RECEIVE BLOCKING TO ALLOW CLOSET SHELVES AND RODS TO BE LOWERED TO 48" AFF TO TOP OF SHELF AT REQUEST.

LEGEND

- MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS.
- NEW WALL
- EXISTING WALL
- EXISTING BUILDING - NO WORK
- WALL TAG SEE SHEET A4-04 FOR WALL TYPES
- DOOR TAG SEE SHEET A4-05 FOR PARTITION SCHEDULE
- WINDOW TAG. SEE SHEET A4-06 FOR WINDOW TYPES
- ROOF PAVERS
- HOSE BIB
- ROOF DRAIN
- FLOOR DRAIN

PLAN KEYNOTES

1. MILLWORK / FURNITURE. SEE INTERIOR DESIGN DRAWINGS UNDER SEPARATE COVER.
2. COLUMN. SEE STRUCTURAL DWGS.
3. FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
4. EXISTING REMAINS OF MASONRY WALL. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
5. EXISTING FOUNDATION WALL TO REMAIN. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
6. PROPERTY LINE
7. CANE RAIL. 27" MAX HEIGHT. 1-1/2" O.D. STEEL PIPE RAIL.
8. 42" HIGH GUARD RAIL.
9. EXISTING FOOTING. SEE DEMO NOTES ON A8-01 AND STRUCTURAL DWGS.
10. STRUCTURAL STEEL OPEN FRAMEWORK ABOVE. SEE STRUCTURAL DWGS.
11. STANDARD SPRING-LOADED SINGLE SWING STAIR GATE. STEEL PIPE FRAME. SEE 100A-02 FOR DETAILS.
12. EXTERIOR SIDE OF EXPOSED CMU TO BE PAINTED WITH CONCRETE / MASONRY WATERPROOF PAINT.
13. EXISTING ADJACENT PROPERTY
14. ACCESSIBLE FOLD DOWN SHOWER SEAT. SEE 151A0.0.1 FOR SPECIFICATIONS.
15. PEDESTAL AND PAVEMENT FLOORING SURFACE. SEE ROOF CONSTRUCTION TYPE RT-1 ON A5-01.
16. NOT USED.
17. NOT USED.
18. ACCESSIBLE COMMUNICATIONS ROOM SHALL INCLUDE THE FOLLOWING: AUDIO VISUAL EMERGENCY ALARMS, DOOR KNOCK SENSOR, TELEPHONE HANDSET AMPLIFIER, TELEPHONE SIGNALER, ALARM CLOCK WITH BED SHAKER, ASSISTIVE LISTENING DEVICES, AND TTY. MOBILE KITS TO BE PROVIDED BY OWNER.
19. UTILITY SINK. SEE ENLARGED PLAN A104-03 FOR DETAILS.
20. ADA COMPLIANT POOL CHAIR LIFT. SEE AQUATIC DWGS FOR DETAILS.
21. KITCHEN EQUIPMENT. SHOWN FOR REFERENCE ONLY. TO BE SUBMITTED WITH SEPARATE PERMIT.
22. NEW METAL DECK AND CONCRETE TOPPING. SEE STRUCT. DWGS.
23. NOT USED
24. PARAPET WALL 3'-6" A.F.F.
25. LINE OF FOUNDATION WALL BELOW.
26. CONCRETE BOLLARD. 6" DIA. 48" ABOVE GRADE.
27. POOL MECHANICAL EQUIPMENT. SEE AQUATIC DWGS FOR DETAILS.
28. POOL 3'-10" WATER LEVEL. SEE AQUATIC DWGS FOR DETAILS.
29. ALUMINUM FIXED LADDER WITH SECURITY DOOR, PIANO HINGE, AND PADLOCK PROVISION
30. ALUMINUM ROOF HATCH INSULATED CURB AND COVER. PADLOCK PROVISIONS
31. POOL SECURITY GATE. SELF CLOSING AND SELF LATCHING.
32. EMERGENCY TELEPHONE
33. EXISTING 90 MIN. FIRE RATED EGRESS DOOR. KEYLESS IN THE DIRECTION OF EXIT WITH PANIC HARDWARE AND SURFACE CLOSER.

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SHEET INFORMATION

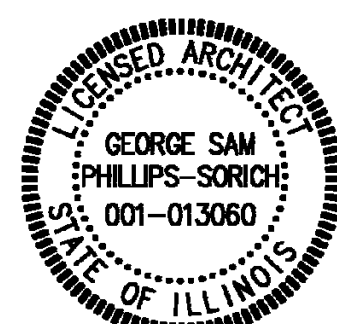
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7.12.2017	ISSUED FOR PERMIT
2	8.21.2017	ADDENDUM 1
3	10/13/2017	PERMIT REVISION

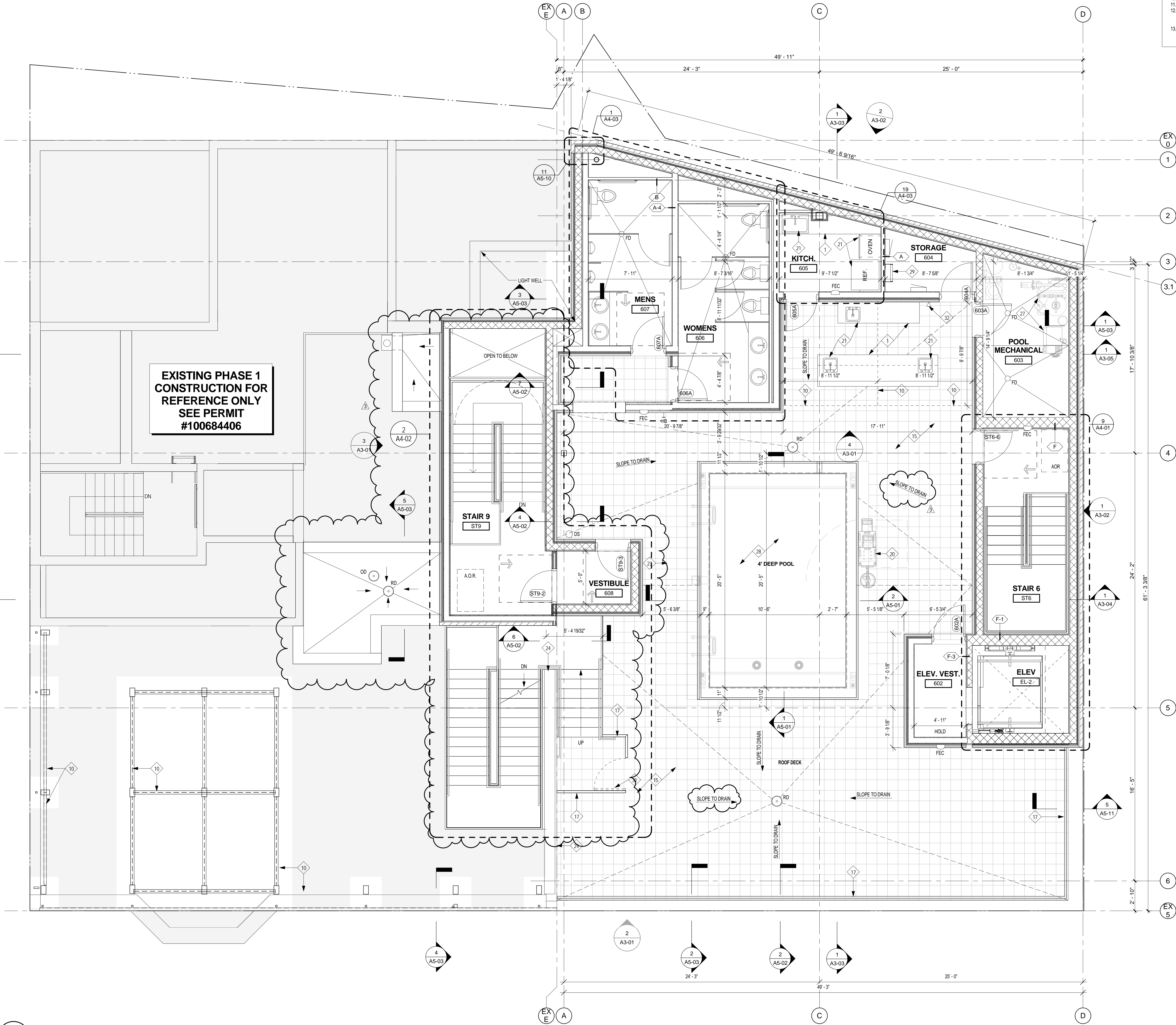
DATE ISSUED Issue Date
SHEET TITLE

POOL DECK / SIXTH
FLOOR PLAN

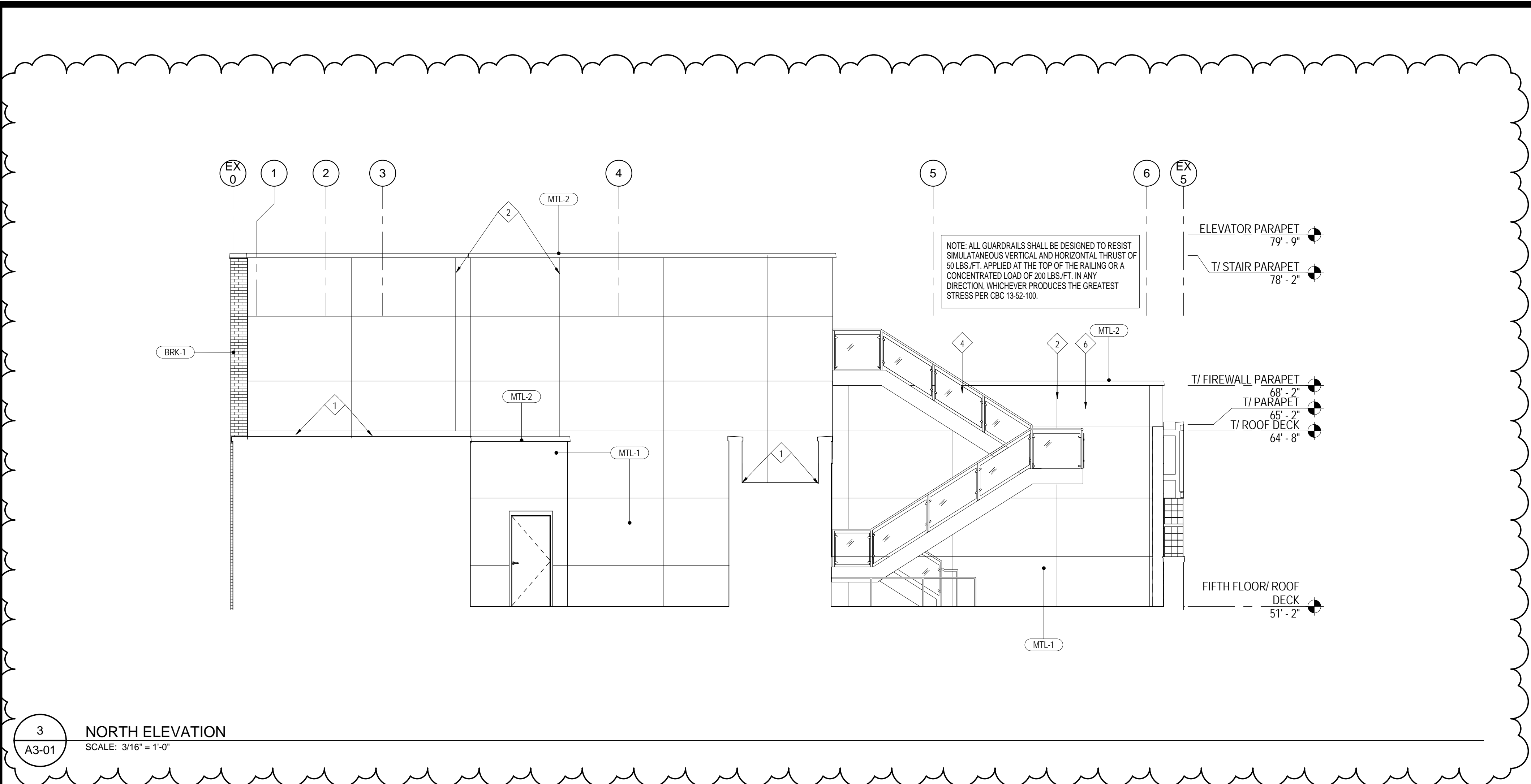
PROFESSIONAL STAMP SHEET NUMBER



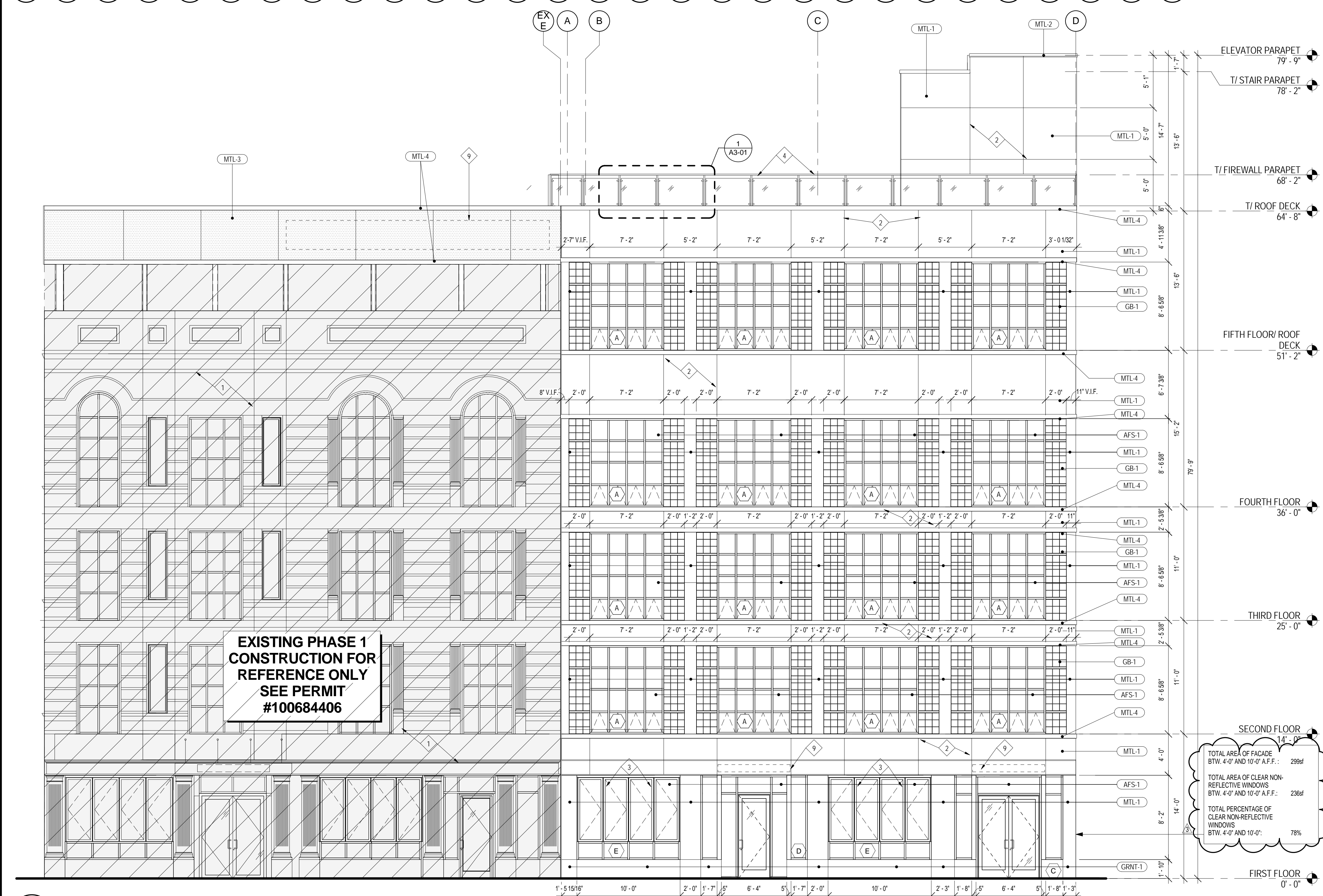
A2-06



1 ROOD DECK / SIXTH FLOOR PLAN
A2-06 SCALE: 1/4" = 1'-0"



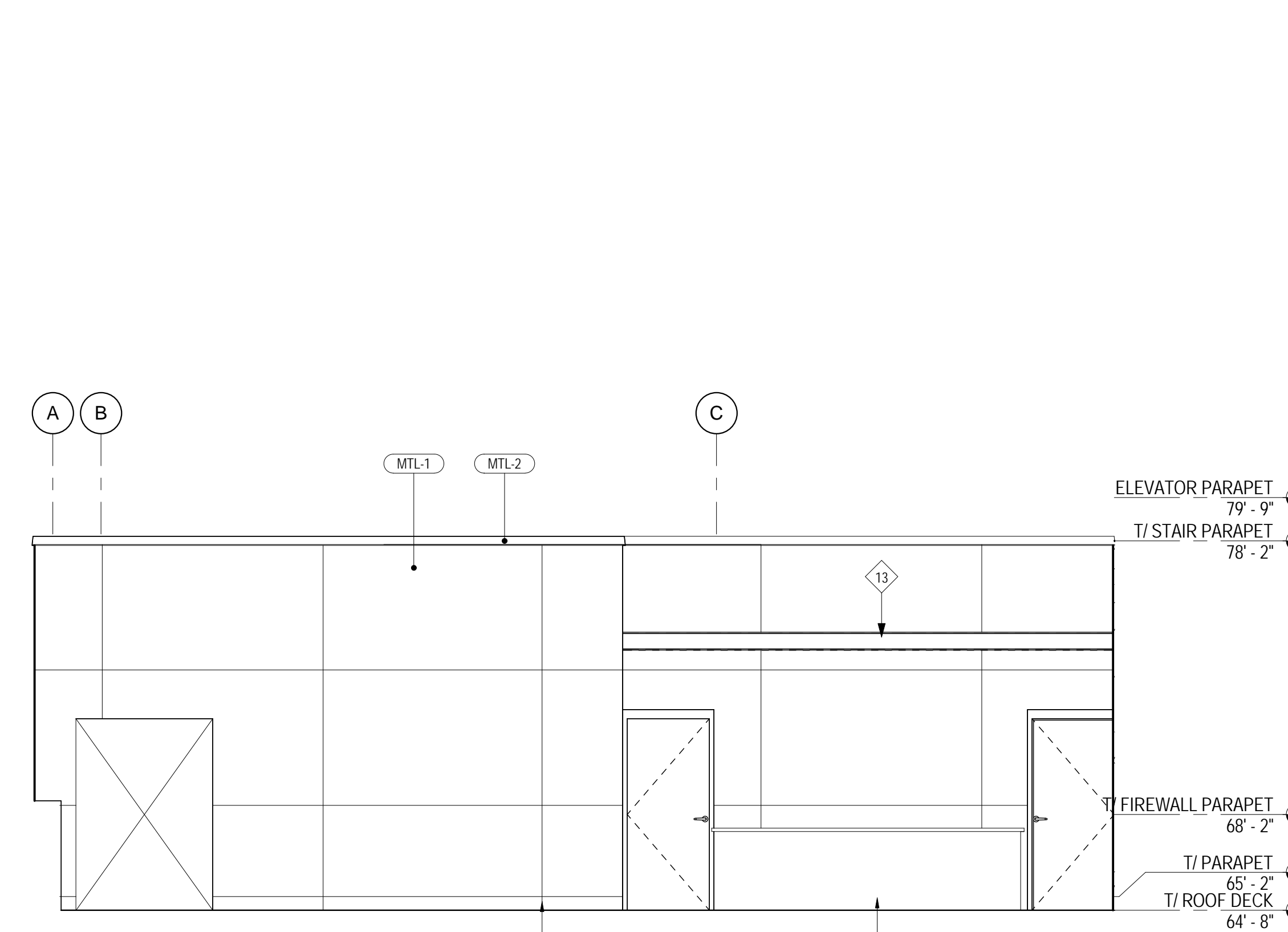
3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



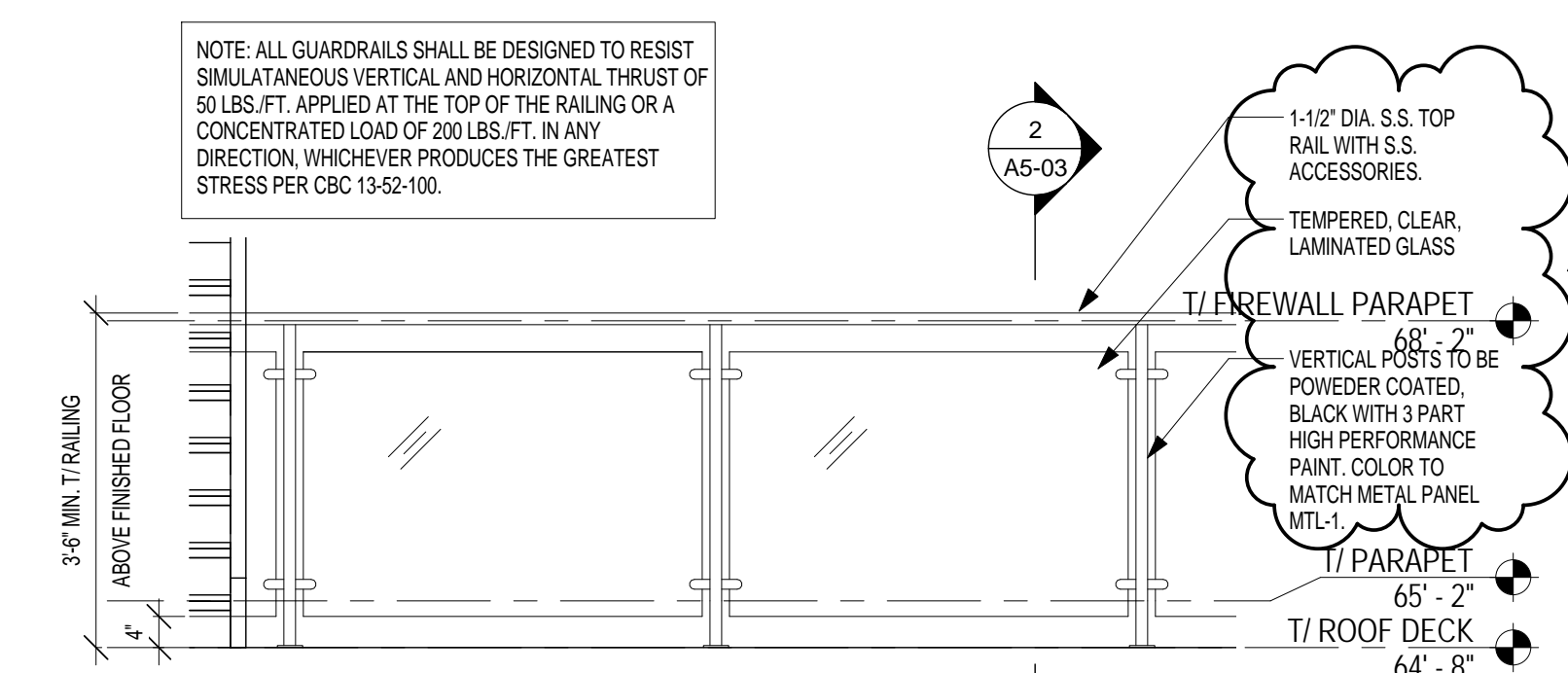
2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

- ELEVATION KEY NOTES:
- 1 PHASE 1 CONSTRUCTION. FOR REFERENCE ONLY
 - 2 JOINT IN METAL PANEL
 - 3 FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.
 - 4 GLASS GUARDRAIL SYSTEM. 3'-6" A.F.F. SEE 1/A3-01
 - 5 MILLWORK. SEE INTERIOR DWGS UNDER SEPARATE COVER.
 - 6 GLASS GUARDRAIL AND HANDRAIL SYSTEM. SEE 1/A3-01
 - 7 FIXED LADDER WITH WALK THROUGH. ALUMINUM MILL FINISHED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - 8 CONCRETE STAIR. SEE ENLARGED STAIR PLANS 5/44-01
 - 9 SIGNAGE. UNDER SEPARATED CONTRACT. PROVIDE PLYWOOD SHEATHING AND JUNCTION BOX. G.C. TO COORDINATE WITH OWNER AND ELECTRICAL ON LOCATION.
 - 10 INTAKE LOUVER WITH INSULATED PLENUM PITCH. SEE MECH. DWGS.
 - 11 EXHAUST LOUVER WITH INSULATED PLENUM PITCH. SEE MECH. DWGS.
 - 12 BOLLARD. CONCRETE. 4'-0" HIGH.
 - 13 STEEL CANOPY FRAMING. SEE STRUCTURAL DWGS.

- GENERAL NOTES:
1. ENSURE NEW THIN BRICK DOES NOT RESTRICT FREE FAN OF EXISTING MASONRY WEEPS.
 2. ALIGN NEW CONTROL JOINTS WITH EXISTING. SEE DETAIL 9/A5-01.
- MATERIAL LEGEND:
- BRK-1 CHICAGO SMOOTH TBL BRICK BY LAKEWOOD BRICK COMPANY - SIZE TO MATCH EXISTING.
 - AFS-1 THERMALLY BROKEN ALUMINUM STOREFRONT WITH 1" INSULATED GLAZING AND APPLIED MUTTONS. SEE WINDOW SCHEDULE SHEET A0-01.
 - MTL-1 "DEEP BLACK" MCM PANEL WITH FIRE RETARDANT MINERAL CORE BY KEYNOCOR OR EQUAL
 - MTL-2 PREFINISHED METAL COPING TO MATCH MTL-1
 - MTL-3 PERFERATED METAL PANEL TO MATCH MCNICHOLAS QUALITY ROUND PERFORATED ITED 16145116MT 1/4" ROUND ON SCOLOR TO MATCH MCM PANEL 1/4" ROUND ON 5/16" CENTER.
 - MTL-4 C 5X6.7 CHANNEL TO MATCH MTL-1
 - MTL-5 FLASHING TO MATCH MTL-1
 - PT-1 EXISTING STONE MAONSRY PAINTED BLACK TO MATCH UNIVERSAL BLACK 2118-10 BY BENJAMIN MORE WITH GLOSS FINISH
 - CMU-1 CONCRETE MASONRY UNIT. COLOR TBD. EXTERIOR FACE OF CHU EXPOSED TO THE ELEMENTS WILL BE PAINTED WITH CONCRETE MASONRY WATERPROOF PAINT.
 - MSNRY-1 CAST STONE COPING TO MATCH EXISTING
 - GRNT-1 GRANITE VENEER.
 - GB-1 GLASS BLOCK
- LEGEND:
- GRID DENOTES GLASS BLOCK
 - T DENOTES TEMPERED GLASS
 - A WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES
 - CJ DENOTES CONTROL JOINT



4 ELEVATION - ROOFTOP RESTROOM
SCALE: 1/4" = 1'-0"



1 ELEVATION - GLASS GUARDRAIL
SCALE: 1/2" = 1'-0"

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SHEET INFORMATION		
ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
2	8.21.2017	ADDENDUM 1

DATE ISSUED Issue Date
SHEET TITLE

EXTERIOR
ELEVATIONS

PROFESSIONAL STAMP SHEET NUMBER

GEORGE SAM
PHILIPS-SORICH
001-013060
STATE OF ILLINOIS
A3-01

ELEVATION KEY NOTES:

1

PHASE 1 CONSTRUCTION. FOR REFERENCE ONLY.

2

JOINT IN METAL PANEL.

3

FOLDING GLASS WALL SYSTEM. CONFIRM WITH MANUFACTURER FOR OPENING SIZE.

4

GLASS GUARDRAIL SYSTEM. 3'-6" A.F.F. SEE 1/A3-01.

5

MILLWORK. SEE INTERIOR DWGS UNDER SEPARATE COVER.

6

GLASS GUARDRAIL AND HANDRAIL SYSTEM. SEE 1/A3-01.

7

FIXED LADDER WITH WALK THROUGH. ALUMINUM. MILL FINISHED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

8

CONCRETE STAIR. SEE ENLARGED STAIR PLANS S/A4-01.

9

SIGNAGE. UNDER SEPARATED CONTRACT. PROVIDE PLYWOOD SHEATHING AND JUNCTION BOX. G.C. TO COORDINATE WITH OWNER AND ELECTRICAL ON LOCATION.

10

INTAKE LOUVER WITH INSULATED PLENUM PITCH. SEE MECH. DWGS.

11

EXHAUST LOUVER WITH INSULATED PLENUM PITCH. SEE MECH. DWGS.

12

BOLLARD. CONCRETE. 4'-0" HIGH.

13

STEEL CANOPY FRAMING. SEE STRUCTURAL DWGS.

GENERAL NOTES:

1. ENSURE NEW THIN BRICK DOES NOT RESTRICT FREE FAN OF EXISTING MASONRY WEERS.

2. ALIGN NEW CONTROL JOINTS WITH EXISTING. SEE DETAIL S/A5-01.

MATERIAL LEGEND:

BRK-1

CHICAGO SMOOTH TBL BRICK BY LAKEWOOD BRICK COMPANY - SIZE TO MATCH EXISTING.

AFS-1

THERMALLY BROKEN ALUMINUM STOREFRONT WITH 1" INSULATED GLAZING AND APPLIED MULTIONS. SEE WINDOW SCHEDULE SHEET A3-07.

MTL-1

"DEEP BLACK" MCM PANEL WITH FIRE RETARDANT MINERAL CORE BY RETYNDOLAR OR EQUIV.

MTL-2

PREFINISHED METAL COPING TO MATCH MTL-1.

MTL-3

PERFORATED METAL PANEL TO MATCH MCNICHOLAS QUALITY ROUND PERFORATED (TED 1614516M) 1/4" ROUND ON 5/COLOR TO MATCH MCM PANEL 1/4" ROUND ON 5/16" CENTER.

MTL-4

C 5x6.7 CHANNEL TO MATCH MTL-1.

MTL-5

FLASHING TO MATCH MTL-1.

PT-1

EXISTING STONE MASONRY PAINTED BLACK TO MATCH UNIVERSAL BLACK 2119-10 BY BENJAMIN MORE WITH GLOSS FINISH.

CMU-1

CONCRETE MASONRY UNIT. COLOR TBD. EXTERIOR FACE OF CMU EXPOSED TO THE ELEMENTS WILL BE PAINTED WITH CONCRETE MASONRY WATERPROOF PAINT.

MSWRY-1

CAST STONE COPING TO MATCH EXISTING.

GRNTE-1

GRANITE VENEER.

GB-1

GLASS BLOCK.

DENOTES GLASS BLOCK.

T

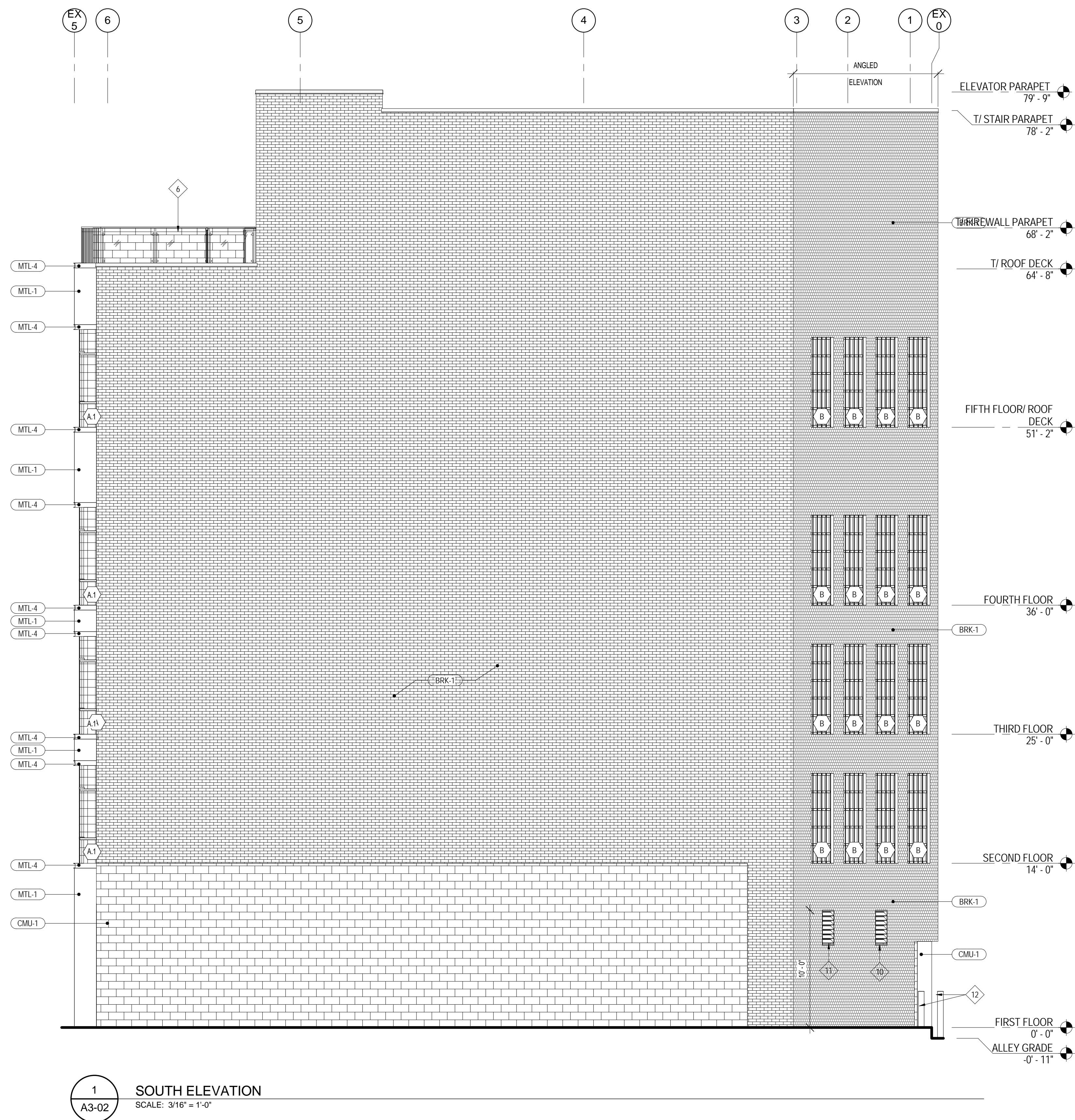
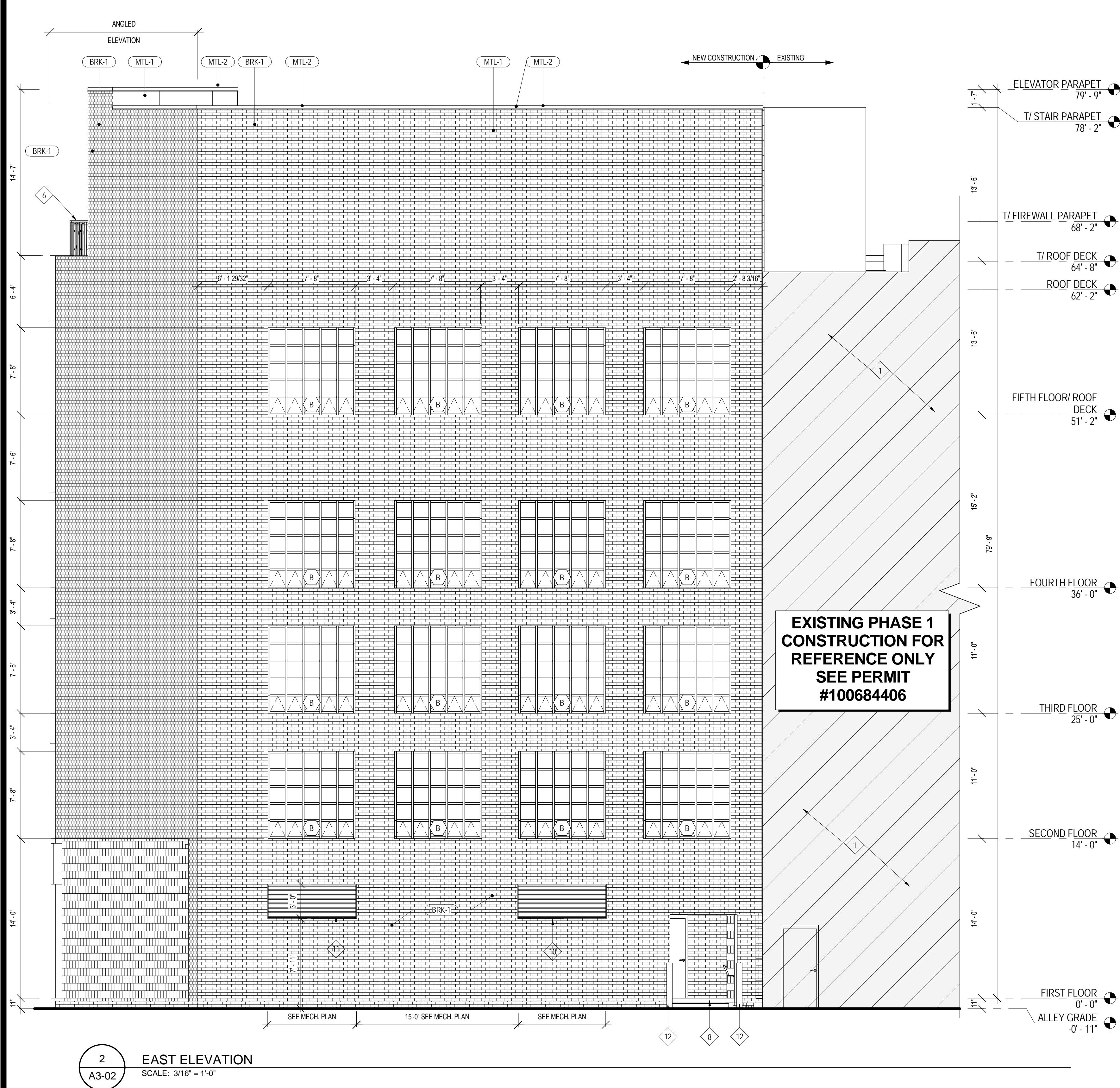
DENOTES TEMPERED GLASS.

A

WINDOW TAG. SEE SHEET A0-06 FOR WINDOW TYPES.

CJ

DENOTES CONTROL JOINT.



PROJECT

NORR PROJECT NO.: NICH16.0101.00

PHASE II

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SHEET INFORMATION

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DATE ISSUED Issue Date

EXTERIOR ELEVATIONS

PROFESSIONAL STAMP SHEET NUMBER

A3-02