

3647 N SOUTHPORT AVE

CHICAGO, IL 60613

JULY 18, 2017

SEMINARY PROPERTIES & MANAGEMENT, LTD

DEVELOPER

SEMINARY PROPERTIES & MANAGEMENT, LTD
P.O. BOX 1041
EVANSTON, ILLINOIS 60204
P: (773) 529-3700
P: (773) 977-8072



A R C H I T E C T S

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ARCHITECT

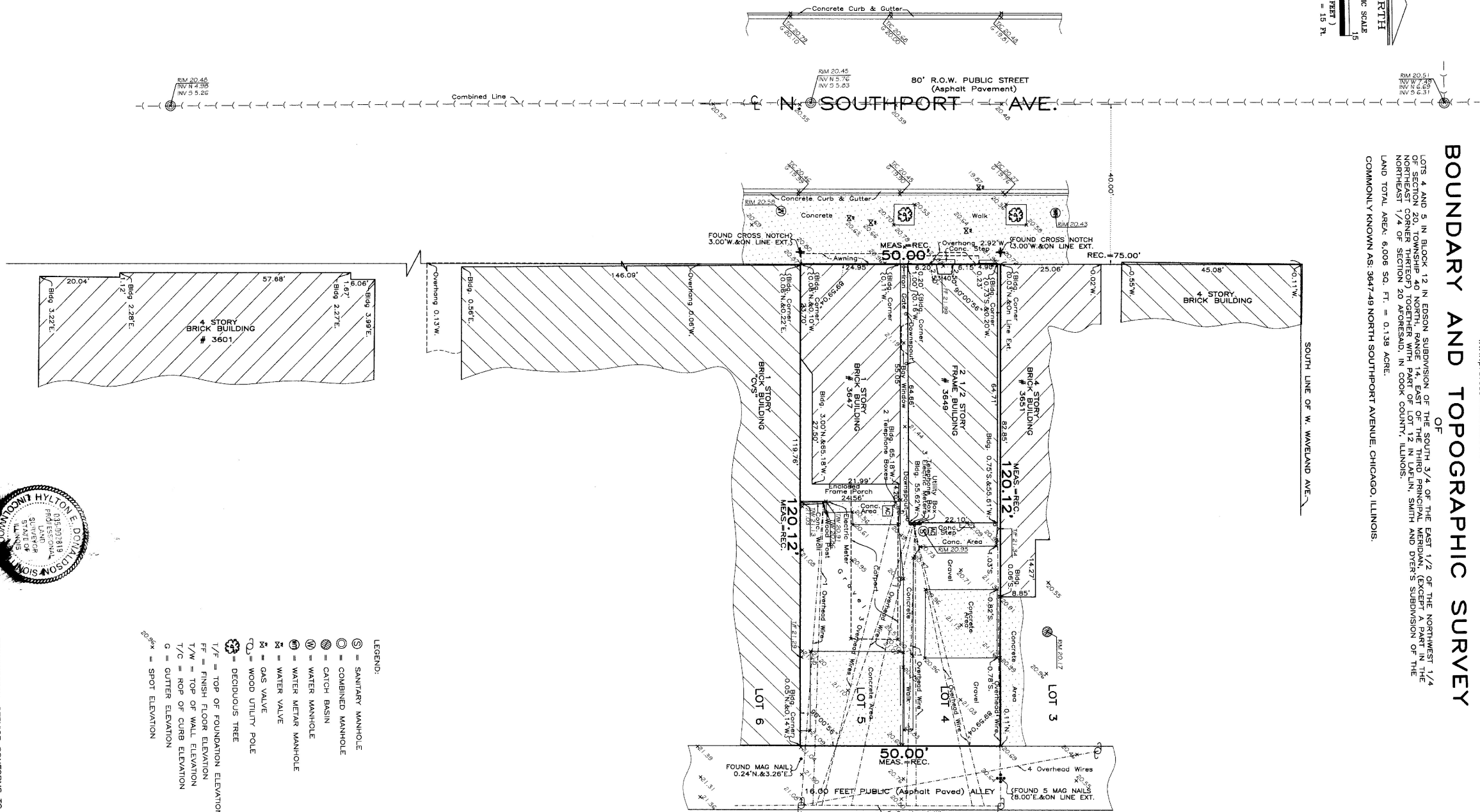
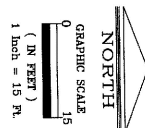
SULLIVAN GOULETTE & WILSON, LTD.
444 N MICHIGAN AVE - SUITE 1850
CHICAGO, IL 60611
P: (312) 988-7412

PARTNER: JEFF GOULETTE
PM: CHRIS MICHALEK

7100 N. TRIPP AVE., LINCOLNWOOD, ILLINOIS 60712
TEL.: (847) 675-3000, FAX: (847) 675-2167
E-mail: pc@professionalssociated.com
www.professionalssociated.com

LOTS 4 AND 5 IN BLOCK 12 IN EDSON SUBDIVISION OF THE SOUTH 3/4 OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT A PART IN THE NORTHEAST CORNER THIRTEETH) TOGETHER WITH PART OF LOT 12 IN LAFLIN, SMITH AND DYER'S SUBDIVISION OF THE NORTHEAST 1/4 OF SECTION 20 AFORESAID, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 6,006 SQ. FT. = 0.138 ACRE.
COMMONLY KNOWN AS: 3647-49 NORTH SOUTHPORT AVENUE, CHICAGO, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT
HEREIN, DRAWN BY _____, SHOULD BE COMPARED WITH
THE TITLE OR DEED.
DIMENSIONS ARE NOT TO BE ASSUMED FROM
SCALING.
BUILDING LINES AND EASEMENTS ARE SHOWN
ONLY WHERE THEY ARE SO RECORDED IN THE
MAPS, OTHERWISE REFER TO YOUR DEED OR
PASTBOOKS.
ORDER NO.: _____ 16-90600.
SCALE: 1 INCH = _____ 15 FEET.
DATE OF FILING: _____ June 16, 2016.
ORDERED BY: _____ Donald Martin
Attorney at Law

ALL ELEVATIONS SHOWN HEREON ARE IN REFERENCE TO CHICAGO CITY DATUM BENCH MARK, NUMBER 245, INDICATING THE ELEVATION OF THE CORNER OF THE INTERSECTION OF WEST ADAMS AVENUE AND 13.9 FEET EAST OF THE WEST LINE OF NORTH RACINE AVENUE.

UTILITY SHOWN HEREON TAKEN FROM OBSERVABLE PHYSICAL EVIDENCE VISIBLE ON THE SURFACE.

-FOR ADDITIONAL DETAILS OF UTILITIES, CONTACT: CITY OF CHICAGO, DEPARTMENT OF TRANSPORTATION, 30 W. LA SALLE STREET, SUITE 1101, CHICAGO, ILLINOIS 60602-2570.

- PRIOR TO ANY EXCAVATION CONTACT "DIGGER" AT (312)744-4828.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THIS SURVEY HAS BEEN PERFORMED FOR SURFACE DIMENSIONS ONLY. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook SS

WE, PROFESSIONALS ASSOCIATED SURVEY, INC., do hereby certify that we have surveyed the above described property and that to the best of our knowledge, the plot herein drawn is an accurate representation of the same.

Dated: 6/17/2016

Debra E. Donahoe

IL PLOT: LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2016.

Drawn By: ZZ

LEGEND:

- ⑤ = SANITARY MANHOLE
- ④ = COMBINED MANHOLE
- ③ = CATCH BASIN
- W = WATER MANHOLE
- WM = WATER METEOR MANHOLE
- WV = WATER VALVE
- GV = GAS VALVE
- CO₂ = WOOD UTILITY POLE
- ☼ = DECIDUOUS TREE
- I/F = TOP OF FOUNDATION ELEVATION
- FF = FINISH FLOOR ELEVATION
- T/W = TOP OF WALL ELEVATION
- T/C = TOP OF CURB ELEVATION
- G = GUTTER ELEVATION
- SPOT = SPOT ELEVATION

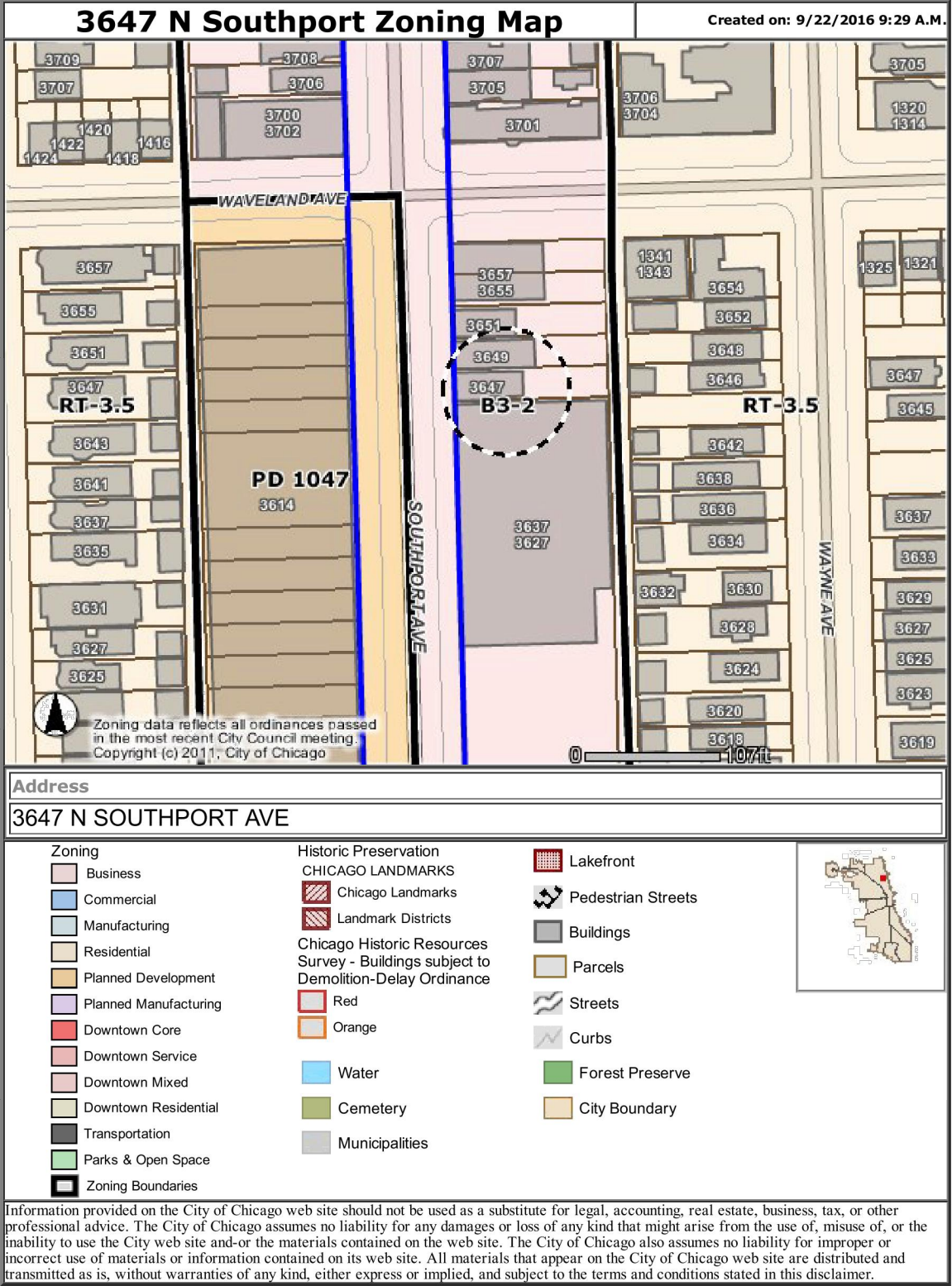
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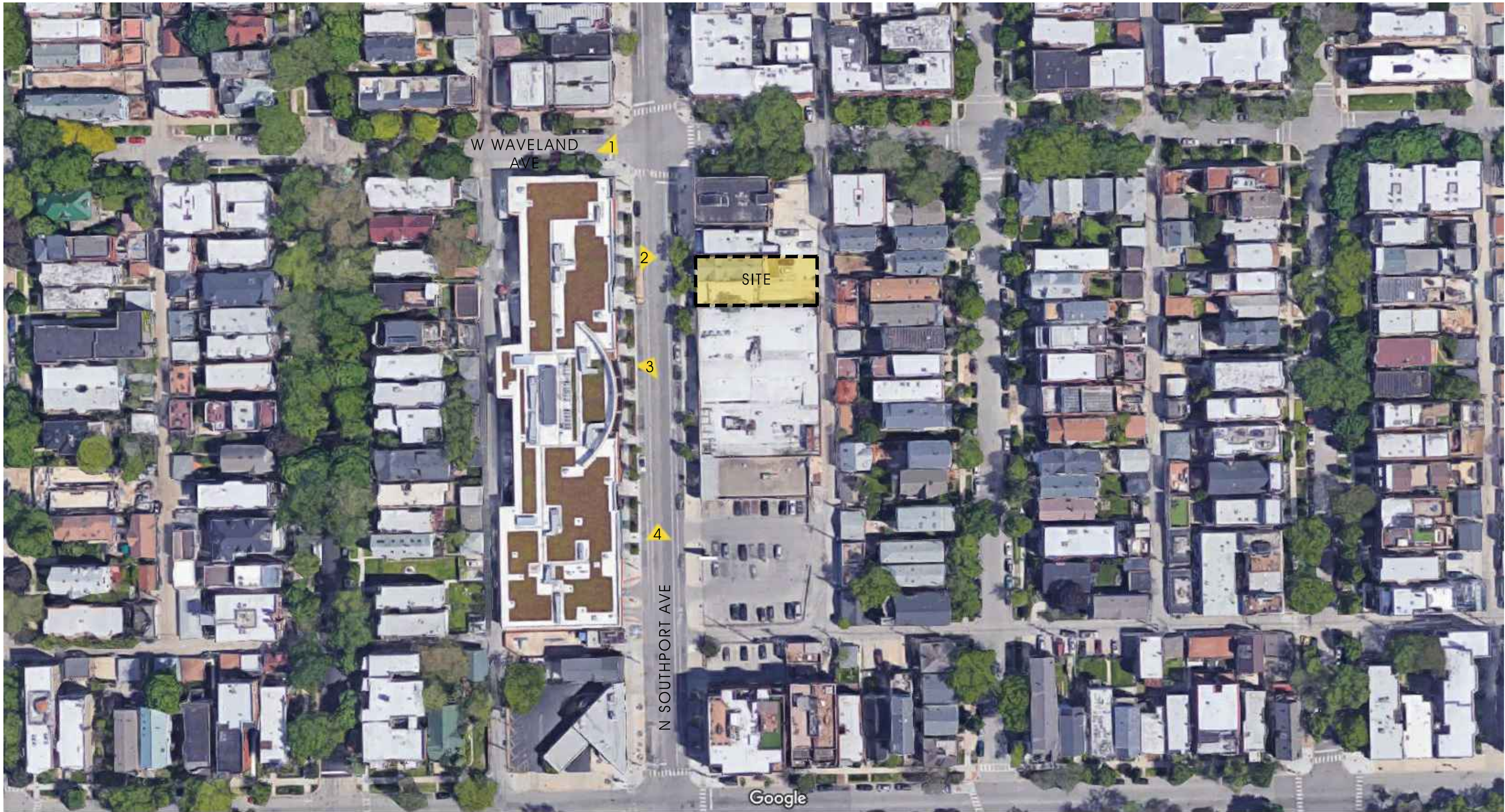
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ZONING INFO



SITE AERIAL

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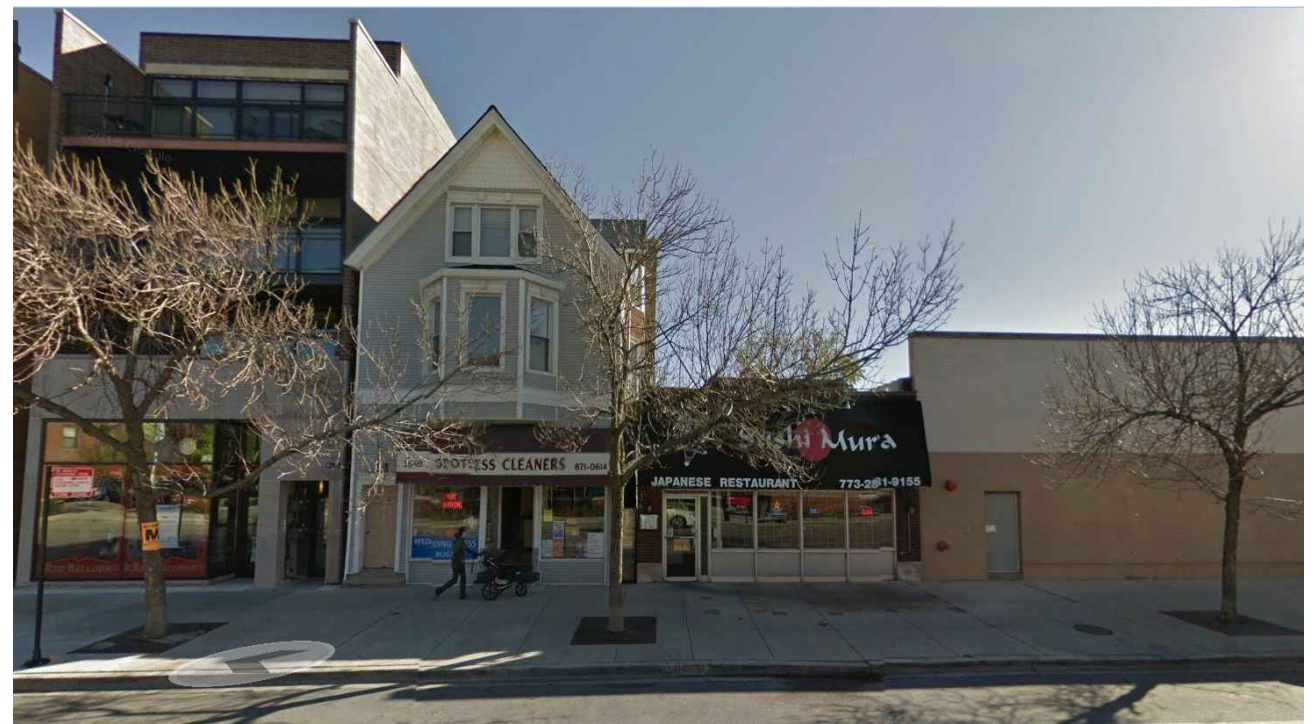
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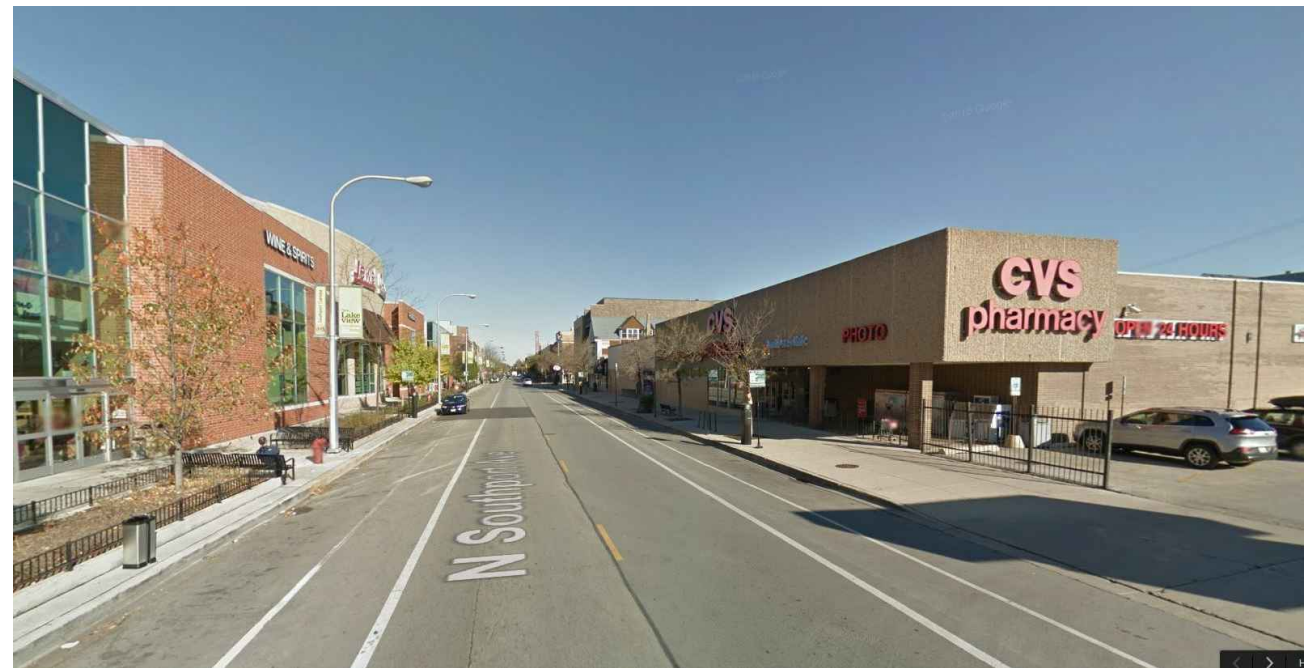
① VIEW LOOKING SOUTHEAST ON N. SOUTHPORT AVE



② VIEW LOOKING EAST ON N. SOUTHPORT AVE



③ VIEW LOOKING NORTHEAST ON N. SOUTHPORT AVE



④ VIEW LOOKING NORTH ON N. SOUTHPORT AVE

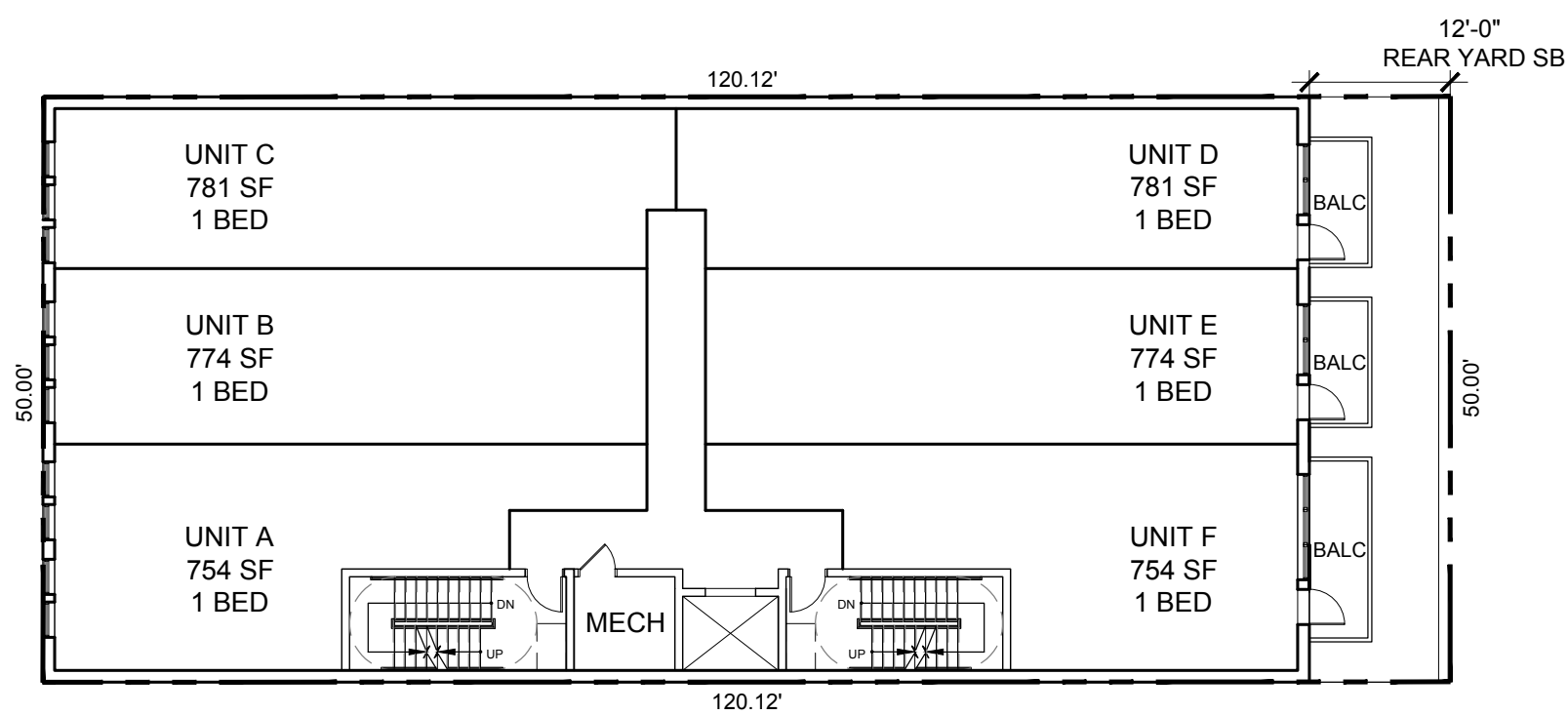
SITE PHOTOS

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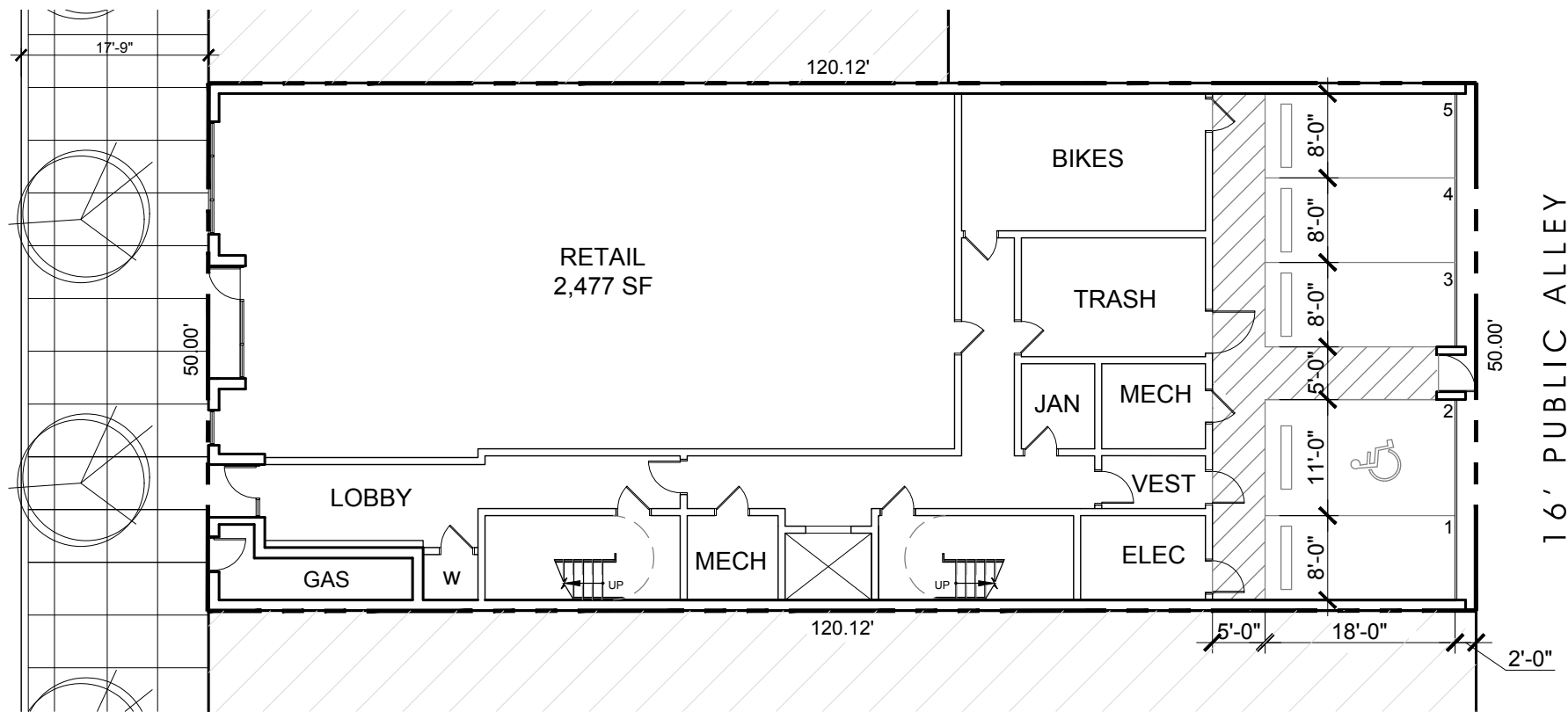
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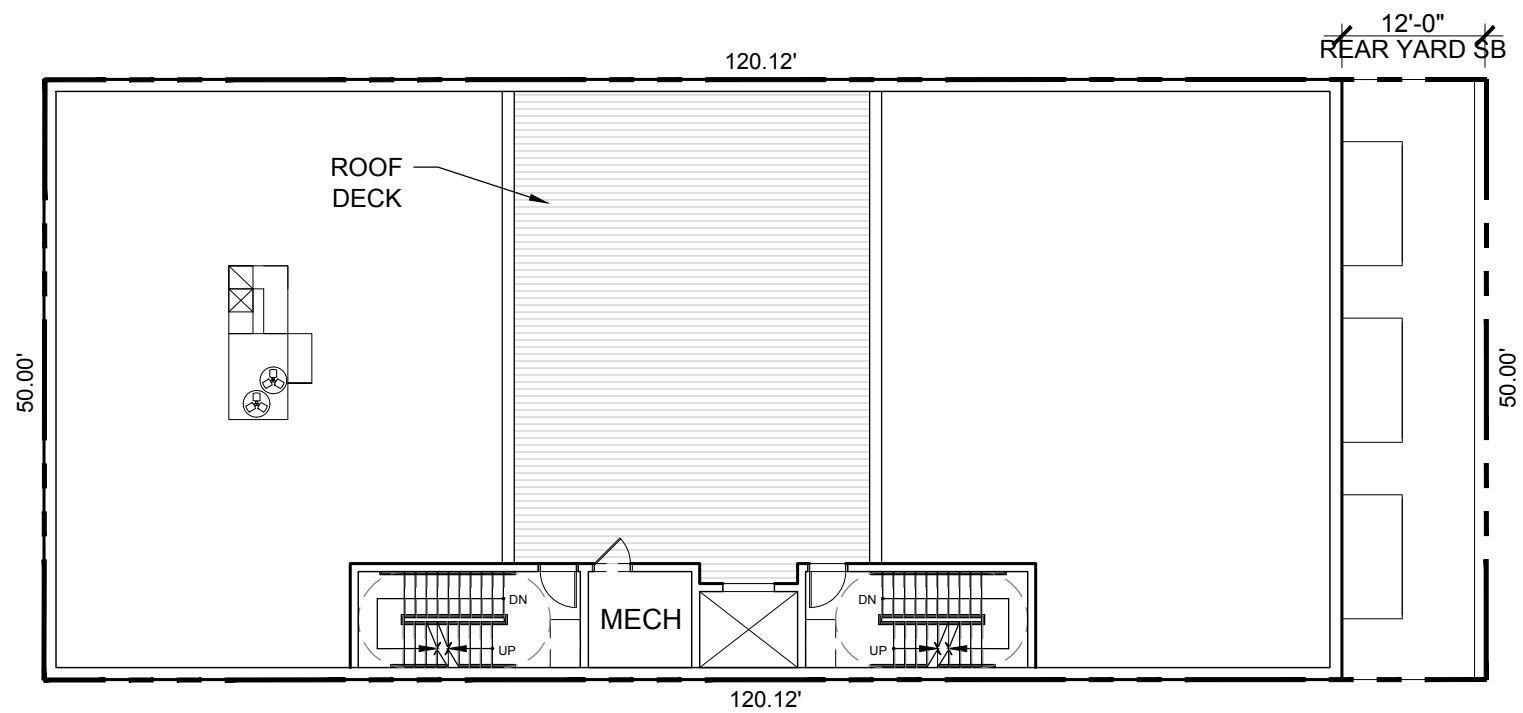
SECOND - FOURTH FLOOR PLANS



GROUND FLOOR & SITE PLAN



ZONING DATA	
SITE AREA	6,006 SF
ZONING	B3-3 TOD
FAR	3.75
MAX FAR SF	22,522 SF
MLA	300/200 SF
MAX UNIT COUNT	21
PROJECT DATA - FOUR STORY SCHEME	
PARKING PROVIDED:	5
PARKING RATIO:	.28/1
BIKE PARKING:	36
NET RETAIL:	2,477 SF
FIRST FLOOR GROSS:	5,956 SF
SECOND-FOURTH FLOOR GROSS:	
3 @ 5,408 SF =	16,224 SF
ROOF GROSS:	627 SF
TOTAL GROSS SF:	22,807 SF
FIRST FLOOR FAR:	4,689 SF
SECOND-FOURTH FLOOR FAR	
3 @ 5,408 SF =	16,224 SF
ROOF FAR:	345 SF
TOTAL FAR SF:	21,258 SF
6 @ 754 SF:	4,524 SF
6 @ 774 SF:	4,644 SF
6 @ 781 SF:	4,686 SF
TOTAL NET RESIDENTIAL RENTABLE:	13,854 SF
TOTAL UNITS:	18
AVERAGE UNIT SIZE:	770 SF



ROOF PLAN



PRELIMINARY PLANS
FOUR STORY W/ ROOF DECK



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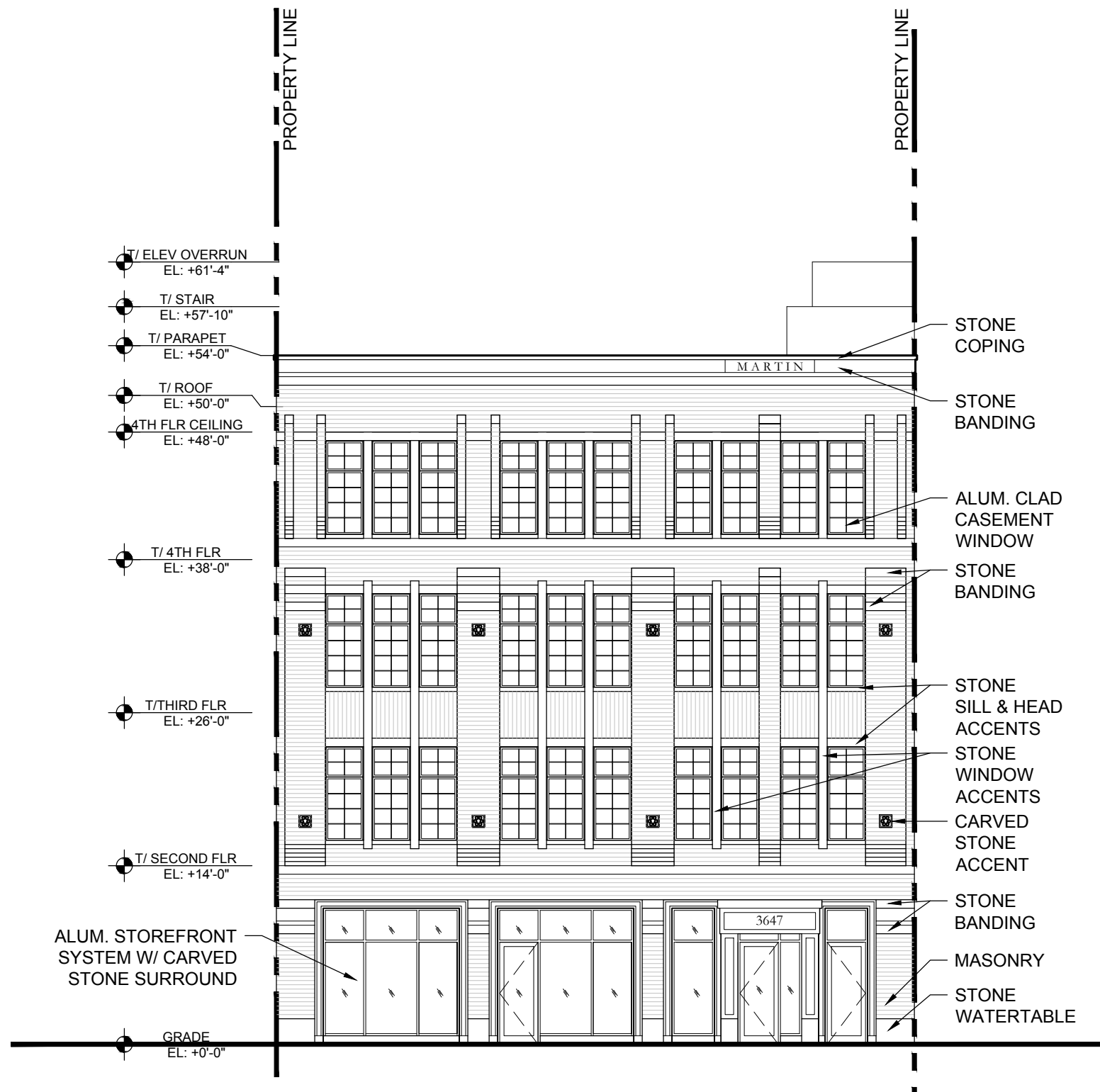
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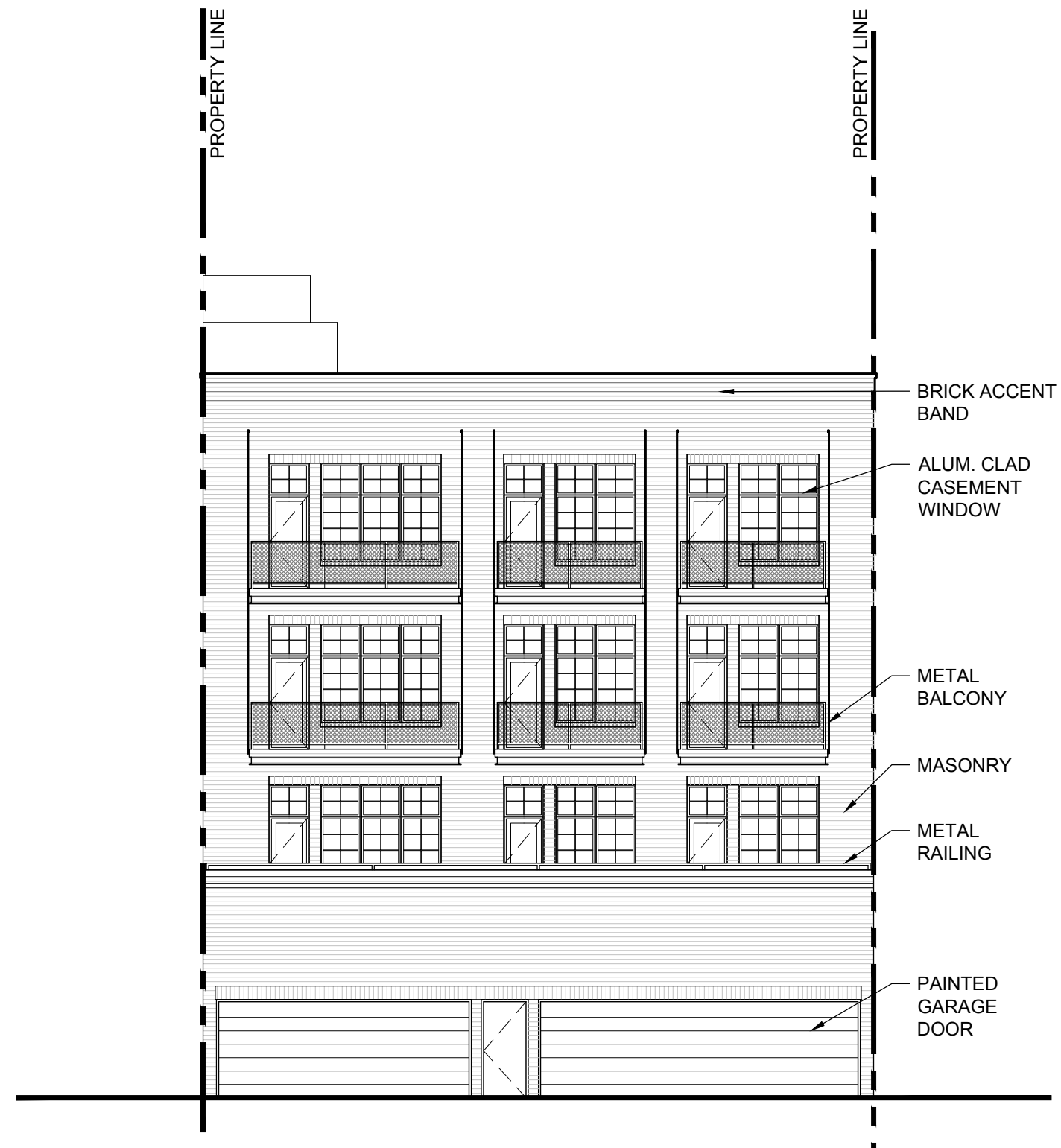
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WEST ELEVATION SKETCH

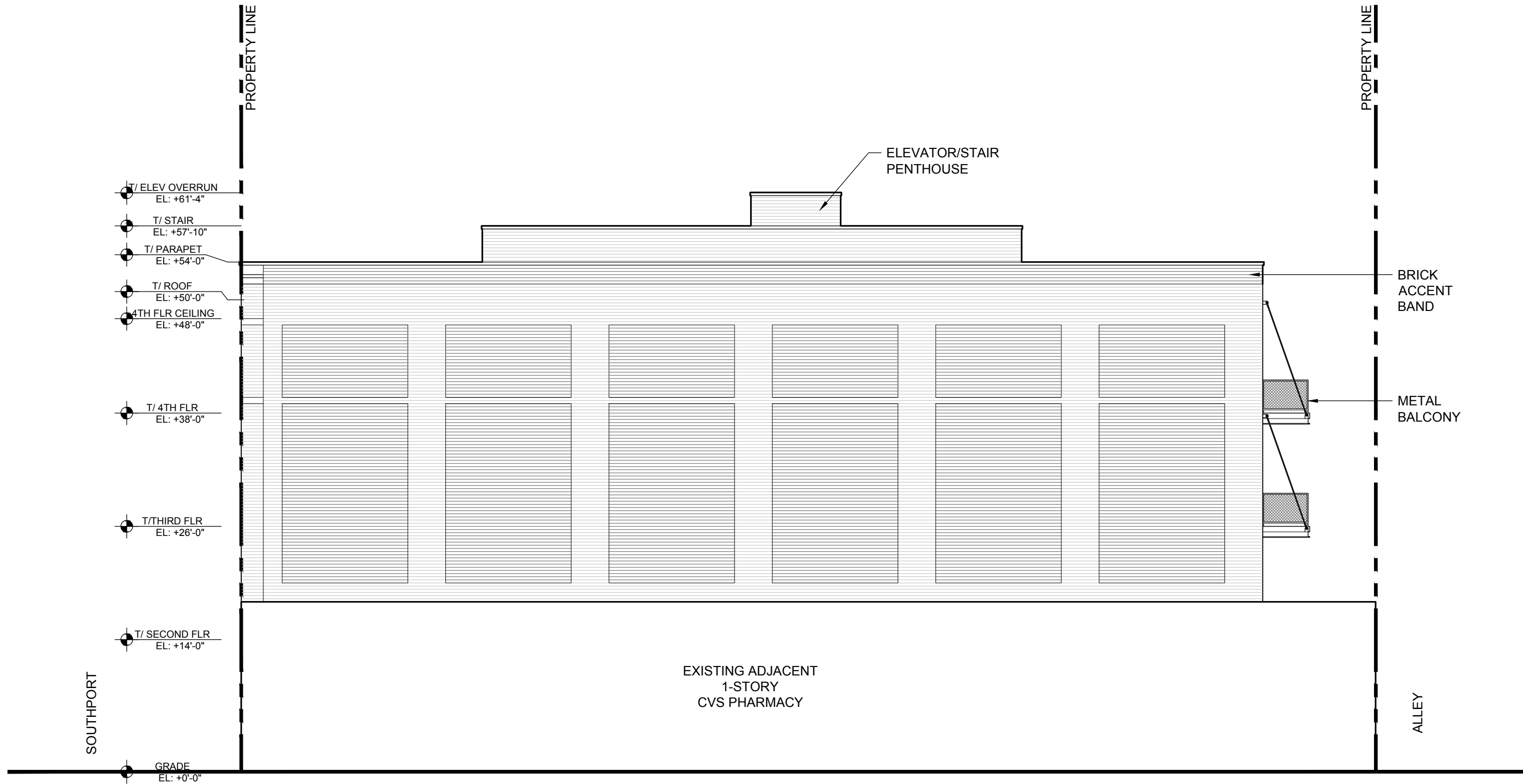


WEST ELEVATION



EAST ELEVATION





SOUTH ELEVATION

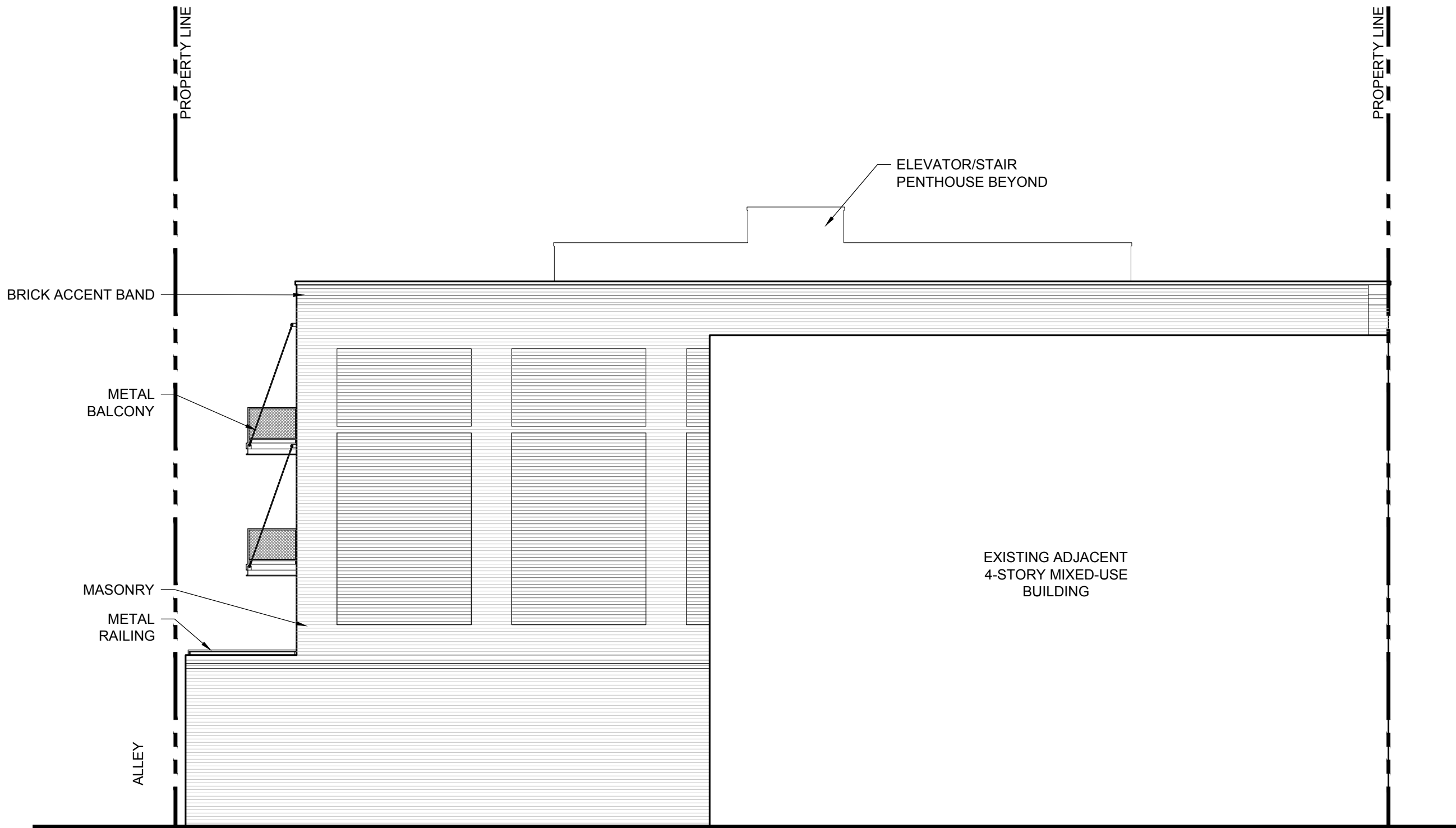


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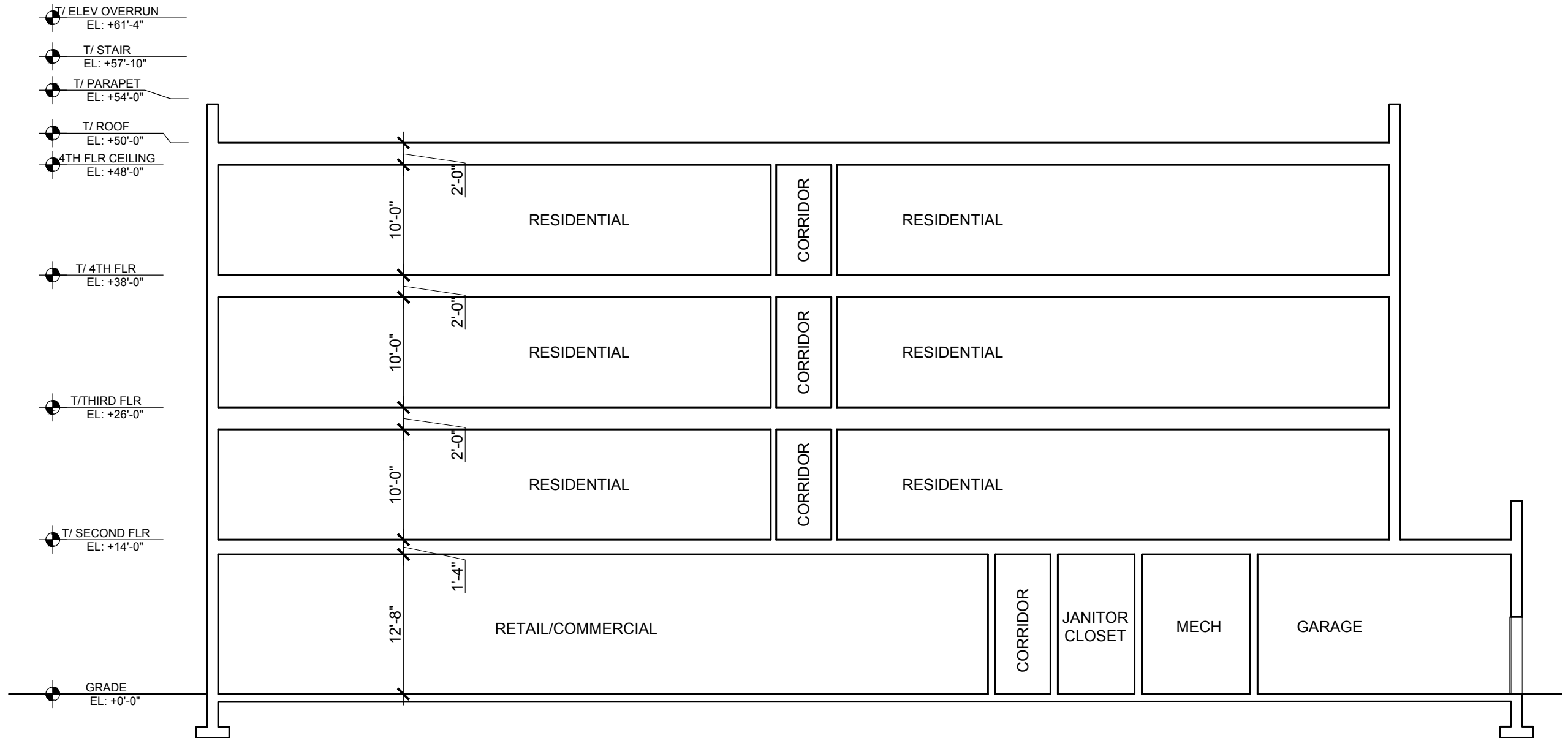
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NORTH ELEVATION





SECTION





VIEW ALONG N. SOUTHPORT
LOOKING NORTHEAST

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VIEW ALONG N. SOUTHPORT
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